

LAFAYETTE COUNTY BOARD OF SUPERVISORS

August 17th, 2026

9:00 AM

1. Call to Order
2. Approve Agenda
3. Approve minutes of recessed meeting on July 28th, 2026, recessed meeting July 29th, 2026 and regular meeting August 3rd, 2026.
4. Accept jail meal log and affidavit from Jail Administrator per section 19-25-74.

AFFIDAVIT OF JOHNNY MCDONALD

STATE OF MISSISSIPPI

COUNTY OF LAFAYETTE

Before me personally appeared the undersigned, Johnny McDonald, who being known to me and first duly sworn, deposes and says as follows:

1. My name is Johnny McDonald. I am currently the Jail Administrator of the Lafayette County Detention Center. I was appointed to this position by Sheriff F.D. "Buddy" East on June 1, 2013.
2. As required by Miss. Code Ann. § 19-25-74, the Lafayette County Sheriff's Department maintains a log, showing the name of each prisoner, the date and time of incarceration and release, to be posted daily, which shall record the number of meals served to prisoners at each mealtime, and the hours of the day served (the "meal log").
3. I have reviewed invoice numbers 200ABS100003601 and 200ABS100004114 from Summit Foods in the amount of \$7,767.05 and \$7,752.03. These invoices are for the feeding of prisoners from 07/11/2026 to 07/24/2026.
4. To the best of my knowledge, I find this invoice to be a true and correct match to the meal log in accordance with Mississippi Code Annotated § 19-25-74.
5. The meal log is being stored in the County Administrator's office and can be reviewed at any time.

Dated: 08/03/2026



Johnny McDonald

Sworn and subscribed before me this the 3rd day of August, 2026.


NOTARY PUBLIC

My commission expires:

September 23, 2026



5. Approve claims docket for claim numbers 5383 - 5562.

New Business

6. Consent Agenda:
 - a) Authorize adjustment of Solid Waste accounts for January. (Jody Harrison)

LAFAYETTE COUNTY SOLID WASTE
ACCOUNT ADJUSTMENT REGISTER
FOR PERIOD ENDING 07/23/26

RUN-DATE 07/23/26 09:20

PAGE 0001

CY	ACCT	N A M E	ADDRESS1	ADDRESS2	CITY, ST ZIP	DATE	ADJUSTM
03	0311797	MIZE, RAYFORD	39 COUNTY ROAD 477		PARIS MS 38949	LRW320 07/06/26	140.00CR
03	0311797	MIZE, RAYFORD	39 COUNTY ROAD 477		PARIS MS 38949	LRW322 07/06/26	12.20CR
03	093648	TURNER, DEON	659 HIGHWAY 30 E	C/O F PEGGY CAIN	OXFORD MS 38655	LRW322 07/02/26	20.00CR
03	121709	JEREMIAH J	C/O CHARLES POMERLEE	15 COUNTY ROAD 418 #	OXFORD MS 38655	TON320 07/22/26	876.00CR
03	121709	ALEXANDER, JEREMIAH J	C/O CHARLES POMERLEE	15 COUNTY ROAD 418 #	OXFORD MS 38655	TON322 07/22/26	82.40CR
03	125845	HOLLOWELL, KRISTY	6 COUNTY ROAD 416		OXFORD MS 38655	LRW320 07/16/26	10.00CR
03	136788	ODELL, JONATHAN	824 HIGHWAY 334		OXFORD MS 38655	LRW320 07/10/26	20.00CR
03	146562M	WS OXFORD, LLC	1723 UNIVERSITY AVE	STE B STE B275	OXFORD MS 38655	LRW340 07/01/26	140.00CR
03	146562M	WS OXFORD, LLC	1723 UNIVERSITY AVE	STE B STE B275	OXFORD MS 38655	LRW344 07/01/26	10.00CR
03	146566M	WS OXFORD, LLC	1723 UNIVERSITY AVE	STE B STE B275	OXFORD MS 38655	LRW340 07/01/26	140.00CR
03	146566M	WS OXFORD, LLC	1723 UNIVERSITY AVE	STE B STE B275	OXFORD MS 38655	LRW344 07/01/26	10.00CR
03	146568M	WS OXFORD, LLC	1723 UNIVERSITY AVE	STE B STE B275	OXFORD MS 38655	LRW340 07/01/26	140.00CR
03	146568M	WS OXFORD, LLC	1723 UNIVERSITY AVE	STE B STE B275	OXFORD MS 38655	LRW344 07/01/26	10.00CR
03	146571M	WS OXFORD, LLC	1723 UNIVERSITY AVE	STE B STE B275	OXFORD MS 38655	LRW340 07/01/26	140.00CR
03	147092M	WS OXFORD, LLC	1723 UNIVERSITY AVE	STE B STE B275	OXFORD MS 38655	LRW340 07/01/26	140.00CR
03	147092M	WS OXFORD, LLC	1723 UNIVERSITY AVE	STE B STE B275	OXFORD MS 38655	LRW344 07/01/26	10.00CR
2130011 000017						REPORT	
						TOTAL	1,910.60CR

b) Spread on the minutes monthly statement for FNB card. (Kate Victor)



Corporate Account Name: LAFAYETTE CO PURCHASING
Account Name: KATE VICTORY

Corporate Number: 00022409
Account Ending In: 0918

Summary of Account Activity

Previous Account Balance	\$2,253.68	Statement Open/Close Date	07/02/2026 - 08/01/2026
Payments and Credits	\$2,253.68	Days This Period	31
Purchases and Debits	\$12,511.57	Credit Limit	\$15,000.00
Cash Advances	\$0.00	Available Credit	\$2,488.00
Fees	\$0.00	Cash Limit	\$3,750.00
Finance Charges	\$0.00	Available Cash	\$2,488.00
New Ending Balance	\$12,511.57		

Payment Due Date **08/26/2026**
Payment Amount Due **\$751.00**

Questions? View your account information online at business.cardservices.bank or call our Customer Service Center toll free at 1-888-999-3340 or 1-531-233-6621.

Send Billing Inquiries and Correspondence to:
P.O. Box 2087, Omaha, NE 68103-2087

Mail Payments to: P.O. Box 2711, Omaha, NE 68103-2711

Important Information

Cybercriminals have been texting, calling and emailing cardholders posing as bank employees to "confirm fraud attempts". If you receive communication, you were not expecting, do not respond or click on any links. If someone calls and asks for information, hang up! You can call the number on the back of the card or your personal banker for assistance. These communications can look very real, often spoofing real phone numbers. They will try to create a false sense of urgency. Don't be tricked into making a rushed decision.

THANK YOU FOR CHOOSING CREDIT CARD SERVICES FOR YOUR CREDIT CARD NEEDS.

Credit Card Services
PO Box 1508
Birmingham AL 35201-1508



Account Ending In 0918
Payment Due Date 08/26/2026
New Balance \$12,511.57
Minimum Payment Due \$751.00

Make Check Payable To:

\$ 12,511.57

KATE VICTORY
300 N LAMAR BLVD
OXFORD MS 38655-3248

00073709
R202

Credit Card Services
P. O. Box 2711
Omaha, NE 68103-2711



487370115010400700000075100000012511574

Important Information (continued)

Please note the new payment address: If you pay this bill by check, please include your payment stub with your check. All payments should be mailed to **Card Services, P.O. Box 2711, Omaha, NE 68103-2711**. To ensure there is no interruption in automated payments, update your billpay provider with your new card number and payment address **Card Services, P.O. Box 2711, Omaha, NE 68103-2711**. Please call 1-888-999-3340 (toll free U.S.) or 1-531-233-6621 (International) for balance inquiries, payment information, transaction history, statement requests or to dispute.

Transactions

Post Date	Tran Date	Reference Number	Transaction Description	\$Amount
07/11	07/11	7487379JH1XGYATRW	PAYMENT MAIL THANK YOU BIRMINGHAM AL	\$434.54 ✓
07/27	07/27	7487379K01XGXGWHQ	PAYMENT MAIL THANK YOU BIRMINGHAM AL	\$1,819.14 ✓
07/05	07/05	2401134JA2X771BVH	CANVA* I04933-24883866 CANVA.COM TX	\$144.00 ✓
07/06	07/06	2469216JBBPVGL7D5	SQ *PHOENIX EMBROIDERY CO gosq.com MS	\$77.00 ✓
07/08	07/08	2494301JE09FT1MMZ	THE HOME DEPOT #2914 800-466-3337 MS	\$11,765.57 ✓
07/22	07/22	2420785JW4XVGR1B6	NATIONAL EXTENSION ASSOC 850-2055638 FL	\$525.00 ✓
Total Activity				\$10,257.89
Total Fees This Period				\$0.00
08/01	08/01		Interest Charge on Purchases	\$0.00
08/01	08/01		Interest Charge on Cash Advances	\$0.00
Total Interest This Period				\$0.00

Finance Charges

Type of Balance	Ending Balance	Annual Percentage Rate (APR)	Balance Subject To Interest Rate (ADB)	Interest Charge	Promo End Date
Purchases	\$12,511.57	18.75% (v)	\$0.00	\$0.00	
Cash Advance	\$0.00	18.75% (v)	\$0.00	\$0.00	
Balance Transfer	\$0.00	18.75% (v)	\$0.00	\$0.00	
(v) = variable rate					

2026 Total Year-to-Date

Total fees charged in 2026	\$25.00
Total interest charged in 2026	\$19.12

Anne M. Conerly

From: Alexander, Brittany <bna143@msstate.edu>
Sent: Monday, July 6, 2026 8:48 AM
To: Anne M. Conerly
Subject: Fw: Your Canva invoice

Good Morning
Hope you had a wonderful 4th of July weekend. It wasn't long enough for me ha, but I have attached the invoice for canva.



Brittany Alexander
Office Associate-Lafayette County
70 F.D. Buddy East Parkway
Oxford, Mississippi 38655
(662)234-4451

From: Canva <no-reply@account.canva.com>
Sent: Sunday, July 5, 2026 10:20 AM
To: Alexander, Brittany <bna143@msstate.edu>
Subject: Your Canva invoice

Thank you for your purchase. Your invoice details are below:



Your invoice

Thank you for your purchase! Your invoice details are below.

INVOICE	DATE OF ISSUE
04933-24883866	Jul 5, 2026
BRAND ID	

Details

Charged:

ITEM

AMOUNT

\$144.00

[View details](#)

[View all invoices](#)



Did you know?

Venus is the only planet that spins clockwise.

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Phoenix Embroidery Co LLC
2580 Jackson Ave W Ste 35
Oxford, MS 38655-5490 United States

Invoice #002736

Issue date
Jun 11, 2026

Shirts

Customer

County Administrator Kate Victor
kvictor@lafayettecoms.com

Invoice Details

PDF created July 6, 2026
\$77.00

Payment

Due July 11, 2026
\$77.00

Items

	Quantity	Price	Amount
polo (te)			
Regular (\$1.00 ea.)	6	\$7.00	\$42.00
+ 6001-7000 (\$6.00 ea.)			
digitizing fee (te)	1	\$35.00	\$35.00
Subtotal			\$77.00

Total Paid

\$77.00

Payments

Jul 6, 2026 (Visa 0918)

\$77.00



View online

To view your invoice go to <https://squareup.com/u/lyS3cJQw>

Or open the camera on your mobile device and place the QR code in the camera's view.



Customer Receipt

7/08/2026, 4:42 PM CDT

Sales Person ISX83D

Store Phone # (662) 234-7863

Store # 2914

Location 201 HOME DEPOT DR, OXFORD, MS 38655

Customer Information

STEVE QUARLES

(662) 419-0485

SQUARLES@LAFAYETTECOMS.COM

QUARLES CONSTRUCTION

72 FD Buddy East Parkway

OXFORD, MS 38655

Order # H2914-168692

Receipt # 2914 00097 89561

PO / Job Name New Office



Delivery

Delivery Address
2212 Arena Drive
Oxford, MS 38655

Delivery Options
Priority Ground Shipping

Estimated Arrival
July 10 - July 17

#	Item Description	Model #	SKU #	Unit Price	Qty	Subtotal
01	ZLINE Kitchen and Bath Professional 30 in. True Convection Electric Single Wall Oven with Air Fry and Self Clean in Stainless Steel ◆ SPECIAL BUY \$360.00 OFF EACH ◆ MARKDOWN \$55.00 OFF EACH 📦 Delivered by Jul 10 - Jul 17	WAS-30	1012701650	\$2,300.00 / each \$1,984.99 / each	1	\$1,984.99 ✓
02	ZLINE Kitchen and Bath Touchstone 15 in. 75 lb. Full Size Ice Cubes Per Day Ice Maker with Drain Pump and Solid Stainless Steel Door ◆ MARKDOWN \$640.00 OFF EACH ◆ SPECIAL BUY \$640.00 OFF EACH 📦 Delivered by Jul 10 - Jul 17	ICCD-ST-15	1014029953	\$3,254.99 / each \$1,974.99 / each	1	\$1,974.99 —
03	ZLINE Kitchen and Bath 48 in. 7 Burner Double Oven Dual Fuel Range with 4500 BTU Burners, Adjustable Leg Height, Gliding/Roll Out Racks ◆ SPECIAL BUY \$1,500.00 OFF EACH ◆ MARKDOWN \$1,125.00 OFF EACH 📦 Delivered by Jul 10 - Jul 17	RA48	1006401995	\$5,000.00 / each \$3,374.99 / each	1	\$3,374.99 —
04	ZLINE Kitchen and Bath Monument Series 24 in. Top Control 6-Cycle Tall Tub Dishwasher with 3rd Rack in Stainless Steel ◆ SPECIAL BUY \$387.50 OFF EACH ◆ MARKDOWN \$290.62 OFF EACH 📦 Delivered by Jul 10 - Jul 17	DWMT-304-24	1008285793	\$1,540.99 / each \$871.87 / each	1	\$871.87 —
05	ZLINE Kitchen and Bath 36 in. 3-Door French Door Refrigerator with Dual Ice Maker in Fingerprint Resistant Stainless Steel ◆ SPECIAL BUY \$555.00 OFF EACH ◆ MARKDOWN \$786.25 OFF EACH 📦 Delivered by Jul 10 - Jul 17	RSM-W-36	1011178249	\$3,600.00 / each \$2,358.74 / each	1	\$2,358.74 —
06	ZLINE Kitchen and Bath 30 in. 1000-Watt Built-In Microwave Oven in Stainless Steel ◆ SPECIAL BUY \$400.00 OFF EACH ◆ MARKDOWN \$400.00 OFF EACH 📦 Delivered by Jul 10 - Jul 17	MWO-30	1007160155	\$1,900.00 / each \$1,199.99 / each	1	\$1,199.99 —
07	Priority Ground Shipping	N/A		\$0.00 / each	1	\$0.00



Customer Receipt

7/08/2026, 4:42 PM CDT

Sales Person ISX83D

Store Phone # (662) 234-7863

Store # 2914

Location 201 HOME DEPOT DR, OXFORD, MS 38655

90 DAY RETURN POLICY. The Home Depot reserves the right to limit / deny returns. Please see the return policy sign in the stores for details.

Pro Xtra 2026

Member Statement (as of 07/08)

Pro Xtra Spend	Pro Xtra Savings
\$15,174.81	\$8,226.36

Visit ProXtra: https://www.homedepot.com/c/Pro_Xtra

Payment Method

📅 07/08/2026
8:14 PM EDT

Visa 0918

Charged \$11,765.57

Subtotal	\$18,904.94
Discounts	-\$7,139.37
Sales Tax	\$0.00
Order Total	\$11,765.57
Balance Due	\$0.00



How doers
get more done.™

COMMENTS PLEASE CONTACT
MGR SHANNON_E_OLIVER@HOMEDEPOT.COM

2914 00097 89561 07/08/26 07:11 PM
SALE CASHIER

KEYTAG# 300283211

ORDER ID: H2914-168692

RECALL AMOUNT 14662.44

SUBTOTAL 11,765.57

SALES TAX 0.00

TOTAL \$11,765.57

XXXXXXXXXXXX0918 VISA 11,765.57

AUTH CODE 008912/7972178 TA

PRO XTRA MEMBER STATEMENT

KEYTAG# 300283211

PRO XTRA ###-###-0485 SUMMARY

THIS RECEIPT PO/JOB NAME: New Office

2026 PRO XTRA SPEND 07/07: \$3,409.24

As of 07/08/2026 your Paint Rewards
level is Member; Spend 512.84 more in
qualifying paint purchases to earn
Bronze (10.0% off) on select paint
items.

Get the CREDIT LINE your business needs
PLUS earn Perks 4X FASTER when you join
Pro Xtra, register, & use your Pro Xtra
Credit Card. Apply and SAVE UP TO \$100.
Learn more at homedepot.com/credit



2914 97 89561 07/08/2026 4768

325

Lafayette County
Receiving
Emergency Management

1366 271545

300 North Lamar Blvd
Oxford MS 38655

PH: (662) 234 2152

Fax (662) 234 5402

JULY 08, 2026

RECEIVING REPORT

1366 271545

2817 26078274

PAGE 01 of 01

ASSN: 25100

SHIPPED FROM:
Home Depot Credit Services
Dept. 32-2129866202
P. O. Box 9001030
Louisville, Ky 40290-1030

RECEIVED	UM	PRODUCT	DESCRIPTION
1.00	EA	APPLIANCES	ZLINE KITCHEN WALL OVEN
1.00	EA	APPLIANCES	ZLINE ICE MAKER
1.00	EA	APPLIANCES	ZLINE DOUBLE RANGE
1.00	EA	APPLIANCES	ZLINE DISHWASHER
1.00	EA	APPLIANCES	ZLINE REFRIGERATOR
1.00	EA	APPLIANCES	ZLINE MICROWAVE OVEN
RQ772809			

By: 
Receiving Clerk

RECEIVING CLERK

1366 271545

Lafayette County Purchasing Department

2817 26078274

300 North Lamar
Oxford MS 38655

PH: (662) 234 2152

KVICTOR@LAFAYETTECOMS.COM

Fax (662) 234 5402

JULY 09, 2026

PURCHASE ORDER

2817 26078274

PAGE 01 of 01

ASSN: 25100

ORDER FROM:
Home Depot Credit Services
Dept. 32-2129866202
P. O. Box 9001030
Louisville, Ky 40290-1030

SHIP TO:
Quarles, Steve
Emergency Management
300 North Lamar Blvd
Oxford MS 38655

QUANTITY	UM	PRODUCT	DESCRIPTION	UNIT PRICE	ITEM TOTAL
1.00	EA	APPLIANCES	ZLINE KITCHEN WALL OVEN	1,984.990	\$1,984.99
1.00	EA	APPLIANCES	ZLINE ICE MAKER	1,974.990	\$1,974.99
1.00	EA	APPLIANCES	ZLINE DOUBLE RANGE	3,374.990	\$3,374.99
1.00	EA	APPLIANCES	ZLINE DISHWASHER	871.870	\$871.87
1.00	EA	APPLIANCES	ZLINE REFRIGERATOR	2,358.740	\$2,358.74
1.00	EA	APPLIANCES	ZLINE MICROWAVE OVEN	1,199.990	\$1,199.99
RQ772809				PURCHASE ORDER TOTAL: \$11,765.57	

Approval: Board of Supervisors

By:

Purchase Clerk

Instructions for Vendor:

1. The purchase order number shall be shown by the vendor on all related invoices, delivery memorandum, bills of lading and/or correspondence.
2. No unit price shall exceed the bid price.
3. A separate invoice for each purchase order shall be rendered immediately following shipment.
4. All prices, unless otherwise specified, are F.O.B. destination with transportation charges prepaid. Ship prepaid, best way, unless otherwise instructed. If shipment is made common carrier, the original prepaid bill must accompany the invoice.
5. Commodities delivered on this order shall be subject to inspection and, if rejected, shall remain the property of the vendor.
6. All correspondence pertaining hereto shall be addressed to: LAFAYETTE COUNTY PURCHASE CLERK PO BOX 1240 OXFORD, MS 38655

PURCHASE CLERK

2817 26078274

Lafayette County Requisition

2817 00772809

300 North Lamar
Oxford MS 38655

PH: (662) 234 2152

Fax (662) 234 5402

JULY 08, 2026

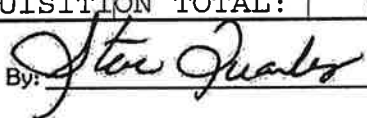
REQUISITION**2817 00772809**

PAGE 01 of 01

ASSN: 25100

ORDER FROM:
Home Depot Credit Services
Dept. 32-2129866202
P. O. Box 9001030
Louisville, Ky 40290-1030SHIP TO:
Quarles, Steve
Emergency Management
300 North Lamar Blvd
Oxford MS 38655

QUANTITY	UM	PRODUCT	DESCRIPTION	UNIT PRICE	ITEM TOTAL
1.00	EA	APPLIANCES	ZLINE KITCHEN WALL OVEN	1,984.990	\$1,984.99
1.00	EA	APPLIANCES	ZLINE ICE MAKER	1,974.990	\$1,974.99
1.00	EA	APPLIANCES	ZLINE DOUBLE RANGE	3,374.990	\$3,374.99
1.00	EA	APPLIANCES	ZLINE DISHWASHER	871.870	\$871.87
1.00	EA	APPLIANCES	ZLINE REFRIGERATOR	2,358.740	\$2,358.74
1.00	EA	APPLIANCES	ZLINE MICROWAVE OVEN	1,199.990	\$1,199.99
REQUISITION TOTAL:					\$11,765.57

By: 

PURCHASE CLERK

2817 00772809



Oxford 9PM

38655

W.



Oxford 9PM

38655

Shop All Services

DIY

Log In

CART (6)

Share

Pickup and Delivery Options

Choose an option to change all items in your cart (if available)



All items available



All items available

Select All

Remove

Save to List

Save for Later

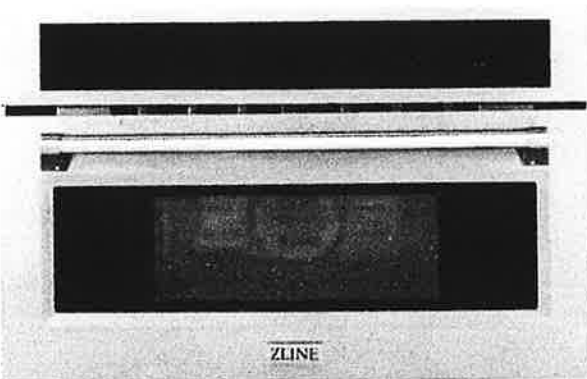
Delivery

Delivering to 38655 (6 items)

Your Delivery Cost: \$55.00

This cost covers all Delivery items in your cart.

This item can be delivered but doesn't qualify for our regular Installation or Haul Away services.



ZLINE Kitchen and Bath

30 in. 1000-Watt Built-In Microwave Oven in Stainless Steel

Product Width (in.): 29.75 in

Color/Finish: **Brushed 430 Stainless Steel**

Capacity of Microwave (cu. ft.): 1.6 cu. ft.

\$1,599.99

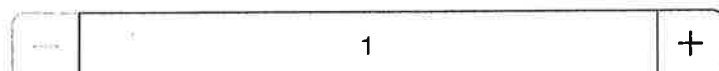
~~\$1,999.99~~

Save 20%

★ These appear to be higher than Lowes, but they price matched ★

- AMT

7/9/20



This item can be delivered but doesn't qualify for our regular Installation or Haul Away services.

ZLINE Kitchen and Bath

48 in. 7 Burner Double Oven Dual Fuel Range with 4500 BTU Burners, Adjustable Leg Height, Gliding/Roll Out Racks

Product Width (in.): **47.75 in**

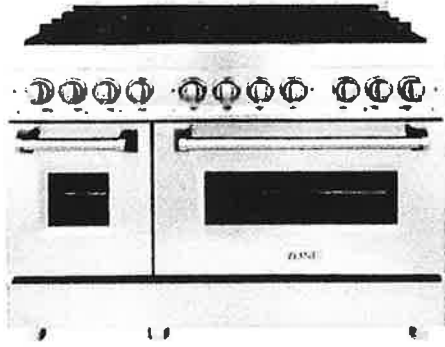
Color/Finish: **Stainless Steel**

Hardware Color/Finish: **Stainless Steel**

\$4,499.99

~~\$5,999.99~~

Save 25%



1

+

 This item can be delivered but doesn't qualify for our regular Installation or Haul Away services.

ZLINE Kitchen and Bath

Touchstone 15 in. 75 lb. Full Size Ice Cubes Per Day Ice Maker with Drain Pump and Solid Stainless Steel Door

Model #ICCD-ST-15

\$2,559.99

~~\$3,199.99~~

Save 20%



1

+

 This item is non-returnable. This item can be delivered but doesn't qualify for our regular Installation or Haul Away services.

ZLINE Kitchen and Bath

36 in. 3-Door French Door Refrigerator with Dual Ice Maker in Fingerprint Resistant Stainless Steel

Total Capacity (cu. ft.): **28.9 cu ft**

Color/Finish: **Fingerprint Resistant Stainless Steel**

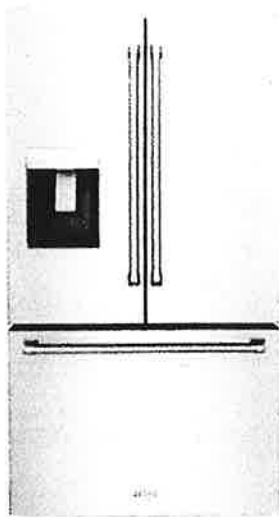
Installation Depth: **Standard Depth**

Handle Type: **Bar Handle**

\$3,144.99

~~\$3,699.99~~

Save 15%



1

+

Limit 10 per order

 This item can be delivered but doesn't qualify for our regular Installation or Haul Away services.



ZLINE Kitchen and Bath

Monument Series 24 in. Top Control 6-Cycle Tall Tub Dishwasher with 3rd Rack in Stainless Steel

Color/Finish: **304-Grade Stainless Steel**

Handle Type: **Bar Handle**

Control Location: **Top Control**

\$1,162.49

~~\$1,549.99~~

Save 25%

1

+

Limit 5 per order

 This item is non-returnable. This item can be delivered but doesn't qualify for our regular Installation or Haul Away services.

ZLINE Kitchen and Bath

Professional 30 in. True Convection Electric Single Wall Oven with Air Fry and Self Clean in Stainless Steel

Product Width (in.): **29.88 in**

Color/Finish: **Stainless Steel**

\$2,039.99

~~\$2,399.99~~

Save 15%



1

+

Loading Recommendations

Loading Recommendations

Your Order

Subtotal	\$18,849.94
Savings	-\$3,842.50
Delivery	\$55.00
Estimated Sales Tax*	---

Total **\$15,062.44**

You Saved **20%** Off Your Items

Have a Promo Code? 

Checkout

Check Out Quickly With

raycon

* Delivery fees are calculated at the lowest rate available. Other delivery options may be available in checkout.



Sign In to Use Instant Checkout

[Sign In Now](#)



Easy In-Store and Online Returns

Read Our [Return Policy](#)



Get Up to \$100 Off

Get a Home Depot Credit Card and receive **\$25 off** your qualifying purchase of \$25+, **\$50 off** purchases \$300+, or **\$100 off** orders over \$1,000. 

[Apply Now](#)

Item Total	\$15,007.44
Savings	-\$100.00
New Total	\$14,907.44

Let Us Know if You Need Help

See our [Online FAQs](#) or phone us:

Online Customer Support: [1-800-430-3376](#)

Custom Blinds: [1-800-658-7320](#)

Call 7 days a week - 6 a.m. to 2 a.m. EST

 [Download Our App](#)

[Shop Our Brands](#)

The Company Store

VISSANI



HAMPTON BAY



StyleWell



Need Help?

Visit our [Customer Service Center](#) or Text 38698

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What can we help you find?



Shop All HomeCare+ New Appliances Bathroom Building Supplies Doors & Windows Lawn & Garden Outdoor Tools Plumbing Flooring Lig

Batesville Lowe's 10 PM ▾ 🚚 38122 ▾



Prices, Promotions, styles, and availability may vary. Our local stores do not honor online pricing. Prices and availability of products and services are subject to change without notice. Errors will be corrected where discovered, and Lowe's reserves the right to revoke any stated offer and to correct any errors, inaccuracies or omissions including after an order has been submitted.

Cart (7 items)



Store List

Appliance Delivery

Arrives on Thu, Jul 16

5 items



Delivery to **38122**



ZLINE KITCHEN & BATH - Monument
24-in Top Control Built-in Dishwasher ...
Item #5061097
Model #DWM-T-304-24

- **1** +

Details

[Save For Later](#)

Pickup

☐ Ready by Thu, Jul 16
At Batesville Lowe's

Delivery to **38122**

☒ Get it by Thu, Jul 16 ⓘ

Check out for scheduling.

Now **\$871.87**

~~\$1,549.99~~

You Save **\$678.12**

Ends Jul 8



Add Services and Protection

☐ Installation [How it Works](#)

☐ Haul Away \$50.00 [How it Works](#)

☐ Protection Plans [Terms & Coverage](#)



ZLINE KITCHEN & BATH - Standard-
Depth 28.9-cu ft 36-in Wide with Dual...
Item #6242622
Model #RSM-W-36

- **1** +

Details

[Save For Later](#)

Pickup

☐ Ready by Thu, Jul 16
At Batesville Lowe's

Delivery to **38122**

☐ Get it by Thu, Jul 16
FREE Standard Shipping

☒ Get it by Thu, Jul 16 ⓘ

Check out for scheduling.

Now **\$2,358.74**

~~\$3,699.99~~

You Save **\$1,341.25**

Ends Jul 8



Add Services and Protection

FREE Installation with \$17.48 Install Kit.
[How it Works](#)



EASTMAN 10-ft 1/4-in Compression Inlet x 1/4-in Compression Outlet Stainless steel Ice maker connector

\$17.48

[Remove](#)

☐ Haul Away \$50.00 [How it Works](#)

☐ ☒ Protection Plans [Terms & Coverage](#)



ZLINE KITCHEN & BATH - 1.6-cu ft 1000-Watt 29.75-in Built-In Microwave (...)

Item #4964730
Model #MWO-30

- +

[Details](#)

[Save For Later](#)

Add Services and Protection

☐ ☒ Installation [How it Works](#)

☐ ☒ Haul Away \$50.00 [How it Works](#)

☐ ☒ Protection Plans [Terms & Coverage](#)

Pickup

☐ Ready by Thu, Jul 16
At Batesville Lowe's

Delivery to 38122

☒ Get it by Thu, Jul 16 ⓘ
☒ Check out for scheduling.

Now ~~\$1,199.99~~
~~\$4,999.99~~
You Save \$800.00
Ends Jul 8



ZLINE KITCHEN & BATH - 30 inch Single Electric Wall Oven with Air Fry...

Item #6521772
Model #WAS-30

- +

[Details](#)

[Save For Later](#)

Add Services and Protection

☐ ☒ Installation [How it Works](#)

☐ ☒ Haul Away \$50.00 [How it Works](#)

☐ ☒ Protection Plans [Terms & Coverage](#)

Pickup

☐ Ready by Thu, Jul 16
At Batesville Lowe's

Delivery to 38122

☒ Get it by Thu, Jul 16 ⓘ
☒ Check out for scheduling.

Now ~~\$2,039.99~~
~~\$2,399.99~~
You Save \$360.00
Ends Jul 8



Ready by Thu, Jul 16

FREE Pickup at [Batesville Lowe's](#)

1 item



ZLINE KITCHEN & BATH - Touchstone 75-lb Ice Per day Freestanding or...

Item #7967629
Model #ICCD-ST-15

- +

[Details](#)

[Save For Later](#)

Add a Protection Plan

☐ ☒ Protection Plans [Terms & Coverage](#)

Pickup

☒ Ready by Thu, Jul 16
At Batesville Lowe's

Delivery to 38122

☐ Get it by Thu, Jul 16 ⓘ
☒ Check out for scheduling.

Now ~~\$1,919.99~~
~~\$3,499.99~~
You Save \$1,280.00
Ends Jul 8



Arrives on Thu, Jul 16

FREE Delivery to 38122

1 item



**ZLINE KITCHEN & BATH - Legacy 48-in
4.2-cu ft / 1.8-cu ft Convection Oven...**
Item #1149473
Model #RA48

Details

Save For Later

1

Pickup

Ready by Thu, Jul 16
At Batesville Lowe's

Delivery to 38122

Get it by Thu, Jul 16
FREE Standard Shipping

Get it by Thu, Jul 16 ⓘ
Check out for scheduling.

Now **\$3,374.99**

~~\$5,999.99~~

You Save **\$2,625.00**

Ends Jul 8

The following items may be required for installation. [Learn More](#)



EASTMAN 48-in 3/4 -in MIP Inlet x 3/4 -in MIP Outlet Corrugated stainless steel Gas appliance installation kit

\$39.98
[+ Add to Cart](#)

Add Services and Protection

Premium

[How it Works](#)

☐ Installation

☐ Haul Away \$50.00 [How it Works](#)

☐ Protection Plans [Terms & Coverage](#)



FREE & Easy Returns [View Returns Policy](#)



Lowest Price Guarantee [View Details](#)



Pickup & Delivery Options [View Details](#)

GET ALL YOU NEED

All

Daily Essentials

Deal Of The Day



**ZLINE KITCHEN & BATH Paramount 36-in
Standard 6 burners Convection...**

\$3,059.99

~~\$3,599.99~~ Save 15%

★★★★☆ 149

Add to Cart



**ZLINE KITCHEN & BATH 23.5-in 1.2-cu ft
1000 -Watt Microwave Drawer (...)**

\$1,087.49

~~\$1,449.99~~ Save 25%

★★★★☆ 202

Add to Cart



**ZLINE KITCHEN & BATH 36 inch
Convertible 400-CFM Recirculating...**

\$458.99

~~\$539.99~~ Save 15%

★★★★☆ 462

Add to Cart



**ZLINE KITCHEN & BATH 23.5-in
1.2-cu ft 1000 -Watt Microwave D**

\$1,087.49

~~\$1,449.99~~ Save 25%

★★★★☆ 202

Add to Car

PREVIOUSLY VIEWED

Luxury



ZLINE KITCHEN &
BATH 30 inch Single...

\$2,209.99

~~\$2,599.99~~ Save 15%

★★★★★ 82

Add to Cart

Order Summary

Item Subtotal (7)	\$11,783.05
Delivery ▾	\$39.00
Estimated Tax	Calculated in Checkout
Promo Code ▾	
Savings ▾	-\$7,084.37
Estimated Total	\$11,822.05



Hurry! Save \$7084.37 by checking out.
Your items are selling fast.

Start Secure Checkout

Or

Checkout with Apple Pay



Congrats! You get FREE Shipping!

\$25



Switch Now, Save Later

+ [Switch Now](#)

Pick up this order, get an offer in your Lowe's Wallet for up to \$10 off your future Online purchase of \$20 or more. [Exclusions Apply*](#)

Back to Top

2602 West Oxford Loop

Oxford, MS 38655

Ph. 662-371-1313



Quote prices subject to change

Prepared by: Barbara

Date : 7-7-2026

Quote valid for 7 days

Ship To:

Jeremy Abott

662-371-3263

jabbott@lafayettecoms.com

All products are special order at customer's request

SALES	P.O. NUMBER	SHIP DATE	SHIP VIA	F.O.B. POINT	TERMS
3707 3786	TBT	TBT	TBT		due upon order

QUANTITY	DESCRIPTION		RETAIL	
1	WAS-30	Z-line Prof. 30" Electric Oven with Air Fry & Convection (SS)		\$ 2,039.99
1	MWOO-30	Z-line 30" Built-in Microwave Oven (SS)		\$ 1,759.99
1	RSM-W-36	Z-line 36" 3 door French Door Refrigerator with Dual Ice maker (SS)		3,144.99
1	ICCD-ST-15	Z-line 15" Icemaker with Drain Pump (SS)		2,559.99
1	DWMT-304-24	Z-line Momument Series 24" Tall Tub Dishwasher w/3rd Rack (SS)		1,162.49
1	RA48	Z-line 48" 7 Burner Dual Fuel Range (SS)		4,499.99
SUBTOTAL				\$ 15,167.44
TAX RATE				
SALES TAX				
TOTAL				\$ 15,167.44

(662) 371-1313

THANK YOU FOR YOUR BUSINESS!

Invoice Number 21074
Invoice Date 07/22/2026
Invoice Due Due Upon Receipt



Billed to
Mississippi State University Extension
Patricia Neal
70 F. D. Buddy East Pkwy.
Oxford, Mississippi 38655
United States
p.neal@msstate.edu

From
NEAFCS
325 John Knox Rd.
Suite L103
Tallahassee, FL 32303
950-205-5638
membership@neafcs.org

Paid

Transactions

DESCRIPTION

	AMOUNT
Patricia Neal: 2026 Annual Session Registration Selection - Full Conference Registration - \$525.00	\$ 525.00

Payments

DESCRIPTION

	AMOUNT
Credit Card Payment - Visa 0918 on 07/22/2026	\$ 525.00

Total Amount	\$ 525.00
Amount Paid	\$ 525.00
Amount Due	\$ 0.00

Notes

Payment Options:

1. Call (950) 205-5638 to make credit card payment over the phone
2. Use this invoice to pay online only
3. Mail in a check to the address at the top of this invoice

c) Approve deletion of fixed assets from inventory. (Kate Victor)

LAFAYETTE COUNTY CAPITAL ASSET DELETION FORM

DATE: 7/22/26

DEPARTMENT: CIRCUIT COURT

DESCRIPTION OF ITEM DELETING (INCLUDING BRAND NAME):
COMPUTER

LOCATION: LAFAYETTE COUNTY CIRCUIT CLERK'S OFFICE

STICKER NUMBER:

SERIAL NUMBER:

102755

STICKER NUMBER:

SERIAL NUMBER:

STICKER NUMBER:

SERIAL NUMBER:

STICKER NUMBER:

SERIAL NUMBER:



REASON FOR DELETION: VERY OLD - HAS TO BE REBOOTED SEVERAL TIMES DAILY

Jeff Busby
SIGNATURE OF DEPARTMENT HEAD
JB: Chyma, Smirni DC
John Vick
COUNTY ADMINISTRATOR

7/28/2026
DATE

8/14/26
DATE

FOR INVENTORY CLERK ONLY

Retirement has been approved on the Board Minutes:

Retirement has been entered on Ledger:

Inventory Number:

Minute Book Number & Page:

102755

IF ASSET SOLD, TRADED, OR JUNKED

Sold/Traded To:

Amount Received:

Receipt Number:

Junked-Received By:

JB

THE ABOVE INVENTORY CONTROL INFORMATION IS TRUE AND CORRECT

LAFAYETTE COUNTY

CAPITAL ASSET DELETION FORM

DATE: 7/29/26
DEPARTMENT: SSHERIFF

DESCRIPTION OF ITEM DELETING (INCLUDING BRAND NAME):
2011 CHEV TAHOE 2WD

LOCATION: _____

MODEL NUMBER: _____
SERIAL NUMBER: _____
STICKER NUMBER: 200918

REASON FOR DELETION: DONATED TO OXFORD UNIVERSITY TRANSIT

JOEY EAST by @ap
SIGNATURE OF DEPARTMENT HEAD

7/29/2026
DATE

Kel Vid
COUNTY ADMINISTRATOR

8/14/26
DATE

FOR INVENTORY CLERK ONLY

Retirement has been approved on the Board Minutes: _____
Retirement has been entered on Ledger: _____
Inventory Number: 200918
Minute Book Number & Page: _____

IF ASSET SOLD, TRADED, OR JUNKED

Sold/Traded To: JE
Amount Received: _____
Receipt Number: _____
Junked-Received By: _____

THE ABOVE INVENTORY CONTROL INFORMATION IS TRUE AND CORRECT

LAFAYETTE COUNTY

CAPITAL ASSET DELETION FORM

DATE: July 29, 2026
DEPARTMENT: Chancery Clerk's Office

DESCRIPTION OF ITEM DELETING (INCLUDING BRAND NAME):

Zebra Label Printer

LOCATION: Chancery Clerk's Office / Land side
Chancery Clerk's Office

MODEL NUMBER: LP2824-Z
SERIAL NUMBER: 24JD94300118
STICKER NUMBER: 101606

REASON FOR DELETION: No longer works,


SIGNATURE OF DEPARTMENT HEAD

7/29/26
DATE


COUNTY ADMINISTRATOR

8/14/26
DATE

FOR INVENTORY CLERK ONLY

Retirement has been approved on the Board Minutes:

Retirement has been entered on Ledger:

Inventory Number:

Minute Book Number & Page:

101606

IF ASSET SOLD, TRADED, OR JUNKED

Sold/Traded To:

Amount Received:

Receipt Number:

Junked-Received By:

MR

THE ABOVE INVENTORY CONTROL INFORMATION IS TRUE AND CORRECT

LAFAYETTE COUNTY

CAPITAL ASSET DELETION FORM

DATE: 8/4/26
DEPARTMENT: County Admin.

DESCRIPTION OF ITEM DELETING (INCLUDING BRAND NAME):
Printer

LOCATION: _____

MODEL NUMBER: _____

SERIAL NUMBER: _____

PHBCMC91P2

STICKER NUMBER: _____

100570

REASON FOR DELETION: Broken

Kate Victor

by @ap
SIGNATURE OF DEPARTMENT HEAD

DATE

8/4/2026

Kate Victor
COUNTY ADMINISTRATOR

DATE

8/14/26

FOR INVENTORY CLERK ONLY

Retirement has been approved on the Board Minutes: _____

Retirement has been entered on Ledger: _____

Inventory Number: _____

100570

Minute Book Number & Page: _____

IF ASSET SOLD, TRADED, OR JUNKED

Sold/Traded To: _____

Amount Received: _____

Receipt Number: _____

Junked-Received By: _____

KV

THE ABOVE INVENTORY CONTROL INFORMATION IS TRUE AND CORRECT

LAFAYETTE COUNTY

CAPITAL ASSET DELETION FORM

DATE: 8/4/26
DEPARTMENT: Solid Waste

DESCRIPTION OF ITEM DELETING (INCLUDING BRAND NAME):
Samsung Galaxy

LOCATION:

MODEL NUMBER:
SERIAL NUMBER: RFCY40A2LBL
STICKER NUMBER: 304338

REASON FOR DELETION:

Jody Harris
SIGNATURE OF DEPARTMENT HEAD

8/4/2026
DATE

Kate Vico
COUNTY ADMINISTRATOR

8/14/26
DATE

FOR INVENTORY CLERK ONLY

Retirement has been approved on the Board Minutes:
Retirement has been entered on Ledger:
Inventory Number: 304338
Minute Book Number & Page:

IF ASSET SOLD, TRADED, OR JUNKED

Sold/Traded To:
Amount Received:
Receipt Number:
Junked-Received By: JH

- d) Authorize the destruction of Lafayette County solid waste fee billing records for fiscal years 2020-2021 pursuant to MDAH record retention schedule. (Kate Victor)

After reviewing the audit completion dates for Lafayette County, MS (State Auditor's Office website) and the corresponding Records Retention Schedule provided by the Mississippi Department of Archives & History, the following Lafayette County Solid Waste fee billing records/documents are now eligible to be destroyed for fiscal years 2020 through 2021:

Solid Waste Payment Support Documents including customer coupon stubs, ACH draft reports and payment receipt books.

Solid Waste Billing Support Records adjustment reports.

Please allow this to serve as the request to the Lafayette County Board of Supervisors to allow the Three Rivers Planning & Development District to destroy the aforementioned Lafayette County Solid Waste fee billing records for fiscal years 2020 through 2021.

- e) Approve 2025 increases and reductions to real and personal property. (Rocky Kennedy)
- f) Authorize, finalize and accept final tax rolls. (Mike Roberts)

20 26 August
Supervisor's Court August 20 26 Term

STATE OF MISSISSIPPI
Lafayette County,

**ORDER OF THE BOARD OF SUPERVISORS
RE: REAL AND PERSONAL PROPERTY ASSESSMENT ROLLS**

This day came on to be considered by the Board of Supervisors of Lafayette County, Mississippi, the matter of the assessment of personal property for the year 20 26 and of real property for the year 20 26 and it appearing affirmatively to this Board that Rocky Kennedy, Tax Assessor of said County, has completed the assessment of both real and personal property for the said year; and filed the rolls with this Board of Supervisors, as required by law; that said assessment rolls, and the assessments therein contained, were examined and equalized by law, and that such equalization was completed more than ten (10) days prior to the meeting, held for the purpose of hearing objections to the said assessment rolls, and the assessment therein contained, and that this Board of Supervisors, at its July sixth, 20 26 meeting, adopted an order approving that said rolls and assessments therein contained, subject to the rights of parties in interest to be heard on all objections made by them, and caused the following notice to be posted at the courthouse or courthouses in said County Lafayette, and published in the Oxford Eagle, a newspaper published at Oxford Mississippi, to-wit:

"PUBLIC NOTICE"

TO THE PUBLIC AND TO THE TAXPAYERS OF Lafayette COUNTY, MISSISSIPPI:
"You are hereby notified that the real and personal property assessment rolls of the above named county, for the year 20 25 have been equalized according to law, and that said rolls are ready for inspection and examination and that any objections to said rolls or any assessment therein contained, shall be made in writing and filed with the clerk of the Board of Supervisors of said County, on or before the 3rd of August, 20 26 at his/her office in the Courthouse of said county, and that all assessments to which no objection is then and there made, will be finally approved by said Board of Supervisors, and that all assessments to which objection is made, and which may be corrected and properly determined by this Board, will be made final by this Board of Supervisors, and that said rolls and the assessments contained therein will be approved by this Board of Supervisors; and that,

"1. This Board will be in session, for the purpose of hearing objections to the said assessments which may be filed, at the Court house in the city of Oxford, said county and State on the 3rd day of August, 20 26; and

"2. This Board of Supervisors will remain in session from day to day until all objections, lawfully filed, shall have been disposed of and all proper corrections made in the said rolls.

"Witness the signature and seal of the said Board of Supervisors the 3rd day of August, 20 26 and, "THE BOARD OF SUPERVISORS OF Lafayette COUNTY

By _____
President

Clerk

And this Board now finds the said notice was posted and published as by it ordered, and as required by law. That this Board of Supervisors met, for the purpose of hearing objections to the said assessments, at the courthouse, in the city of Oxford, said county and State, on the 3rd day of August, 20 26 and

That this Board of Supervisors continued in session from day to day hearing objections to the said assessments, taking testimony of witnesses, and examining books, records and papers with reference to the assessment of property that it has made such changes in the assessments (as fixed by it on the said rolls at its Aug seventeenth, 20 26 meeting) that it has satisfied should be made in order to fix the assessment of property real and personal, at its actual value so as to establish equality and uniformity of taxation according to value among the taxpayers of said county, and that all objections and assessments rolls, and the assessments therein contained, have been heard and disposed of; that this Board of Supervisors had added to the said rolls all property and persons found to be omitted therefore, and has given notice to such persons and has heard and determined all objections filed, that this Board has changed all erroneous assessments that all things required by law have been done; that the Tax Assessor of said County attended this meeting of the Board of Supervisors, from day to day, while it was considering the assessments of persons and property, and hearing objections to the said assessments, and that he/she rendered all assistance which his/her knowledge and information enabled him/her to give; and now being of the opinion that the said assessments rolls contained fair, equal, uniform and just, according to the value of real and personal property therein described.

It is therefore ordered and adjudged, that the said assessment rolls, and the assessments therein contained, be and they are hereby accepted, approved and made final, and that the final recapitulation of said assessment rolls be certified to the Department of Revenue, on blanks furnished by it, within (10) ten days of the adjournment of this meeting as provided by Miss. Code Ann. 27-35-111, and as required by law.

Ordered and adjudged this 17th day of August, 20 26.

CLERK'S CERTIFICATE

I, Mike Roberts, Clerk of the Board of Supervisors of Lafayette County, State of Mississippi, do hereby certify that the foregoing is a true and correct transcript of and order of said Board of Supervisors, passed on the 17th date of August, 20 26 as the same appears on Page _____ of Minute Book electronic minutes of said Board, now on file in the office of said Clerk in the city of Oxford in said County.
Witness my hand and official seal, the 17th day of August, 20 26

Clerk of the Board of Supervisors of said County.

By _____, D.C.
Clerk must be sure to fill the above and to affix his Seal to this Certificate.

- g) Spread on the minutes employment of full-time jailor. (Sheriff Joey East)
- h) Travel authorization for two deputies to attend MLEOTA SSGT Defensive Tactics Vanguard Level 1 and Level 2 training classes in Pearl, MS on August 24-28th, 2026 and August 31-September 4, 2026. (Sheriff Joey East)



Lafayette County

MISSISSIPPI

New Hire/Change in Position Form

Department: Lafayette County Detention Center
Employee Name: Keagan Paschun Clark

☒ New Employee ☐ Existing
☒ Full Time ☐ Part Time

Current Salary: _____

Current Position: _____

New Salary: \$ 21.⁰³ hour \$ 46,088.⁰⁰ year

New Position: Jailor

Effective Date of Hire: August 17, 2026

Signature of Department Head: [Signature]

Date Board approved: _____



SSGT Protect & Prevail **DEFENSIVE TACTICS**

STRATEGIC SELF-DEFENSE & GUNFIGHTING TACTICS

PEARL, MS

**VANGUARD LEVEL ONE
40-HOUR INSTRUCTOR COURSE**

DATE: August 24-28, 2026

&

**VANGUARD LEVEL TWO
40-HOUR INSTRUCTOR COURSE**

DATE: Aug. 31 - Sept. 4, 2026

HOST & LOCATION:

**MS Law Enforcement Officers Training Academy
3791 Hwy 468 West
Pearl, MS 39208**

CONTACT:

Tony Carleton at 662-231-3201

PRICE:

\$850.00/officer/course Full Cert.

\$650.00/officer/course Re-cert.

INSTRUCTOR:

Johnny Lee Smith

Class begins at 8:00 AM each day!

REGISTER ONLINE!

GOSSGT.COM



- i) Appoint Ann Marie Tutor as Comptroller effective August 17th, 2026. (Kate Victor)
- j) Approve part-time employee in County Administrator's office. (Kate Victor)



Lafayette County

MISSISSIPPI

New Hire/Change in Position Form

Department: County Administrator

Employee Name: Ann Marie Tutor

☐ New Employee ☒ Existing

☒ Full Time ☐ Part Time

Current Salary: \$60,300.00

Current Position: Assistant Purchasing Clerk

New Salary: \$68,000.00

New Position: Comptroller

Effective Date of Hire: 8/17/2026

Signature of Department Head: Kel Vid

Date Board approved: _____

- k) Approve service contract with Memphis Communication Corporation for Circuit Clerk's office. (Jeff Busby)

NATION'S LARGEST TOTAL COMMUNICATIONS DEALER

Customer Order No. 18075	Contract No. 18075	PLEASE REFER TO THIS NUMBER IN ALL CORRESPONDENCE >	Invoice No. 580359
Coverage Start Date 08/25/26	Customer Number C18242		Invoice Date 07/27/26
Terms Net 10+			Due Date 08/06/26
Account Rep	CONTRACT INVOICE		Page 1/1

SOLD TO
Lafayette Co Circuit
Court
1 Courthouse Sq Ste 101
Oxford MS 38655-4076



www.memphiscommunications.net
(901) 725-9271

*Promises Made, Promises Kept
Since 1972*

Summary: Service Contract Billing for the period of 08/25/26 to 08/24/27.

Detail: Equipment included under this contract:

Equipment ID	Item Number	Description	Serial Number	Location
MCC124033A	DS64IE3SBASE	DS64I 2.5ST Expert Base	23HB2056	Lafayette Co Circuit Court 1 Courthouse Sq Ste 101 Oxford MS 38655-4076
Meter Type	Allowance	Base Rate		
CYCLE	0	2,120.04		

Refer to enclosed Service Contract Certificate for details

Please include invoice number on check and remit payment to:

Memphis Communications Corporation
PO Box 770389
Memphis TN 38177-0389

Any amount not received within terms of invoice is subject to FINANCE CHARGES
at the rate of 1.5% per month thereafter (annual percentage rate 18%).

All sales subject to the terms and conditions on the reverse side or attachment.

Subtotal	2,120.04
Freight	0.00
Sales Tax	0.00
TOTAL	2,120.04
Payment Received	0.00
Credits Applied	0.00
PAY THIS AMOUNT	2,120.04

Document Solutions -- Audio Visual Solutions -- Security Solutions -- Mailing Solutions -- Telecom Solutions -- Integrated Solutions -- IT Services



INVOICE

Printed by SAP Business One



Annual System Performance Protection

FOR YOUR DS64I 2.5ST EXPERT BASE

This valuable coverage will ensure that your system is maintained and serviced so that it is always there when you need it. Your exposure to costly repairs is also minimized as the parts and labor needed for any repairs are covered. This is the **most effective** way to budget the continued performance and reliability of your new system!

Fixed cost system maintenance
Professionally trained technical service and calibration
Maximum reliability and performance for your critical system

If you ever have questions regarding this coverage or need to report a service issue, call our dedicated service line at 901-257-2500 and your call will be answered by a live person that can help you. You can also visit our website at www.memphiscommunications.net.

Concerning equipment located at 1 Courthouse Sq Ste 101 Oxford, MS 38655-4076

Service Manager, Mail Solutions Group: 

* Valid upon receipt of payment in full for Invoice 580359

Coverage Dates: 08/25/26 - 08/24/27

Equipment ID: MCC124033A

Model: DS64IE3SHASE

Serial Number: 23HB2056

Maximum CYCLE Meter Reading:



MEMPHIS COMMUNICATIONS CORPORATION AGREES TO PERFORM PREVENTIVE MAINTENANCE SERVICE AND FURNISH NECESSARY REPLACEMENT PARTS ON THE EQUIPMENT LISTED BY MODEL AND SERIAL NUMBER AND FOR THE PREPAID FEES SHOWN SUBJECT TO THE FOLLOWING:

1. **Basic service** - the equipment will be cleaned, lubricated and adjusted. Any necessary suggestions to the operator will also be furnished at the time service is performed. All work to be performed during regular business hours (Monday - Friday 8:00 am - 5:00 pm). Service under this agreement includes replacement of all standard parts to maintain equipment in good condition and labor necessary to make such replacement of parts and technical adjustments.
2. **Consumables-parts/supplies** - this agreement does not include furnishing or replacing consumable parts and supply items as listed in the exclusions in section 3. -A chargeable service call will be made if a service call is requested for the purpose of installation of the consumable parts/supplies.
3. **Exclusions**
 - A. Electrical work external to the equipment is not covered. Telephone company charges to install or improve telephone lines are the responsibility of the customer. Any charges by an outside source to improve electric or network lines are the responsibility of the customer. Network wiring to improve or connect the hardware to a computer or network is not included and is the responsibility of the customer.
 - B. Service necessitated as a result of malfunction of equipment when unauthorized parts, materials, attachments, or conflicting software is used with the equipment is not covered. There will be additional charges for service of malfunctioning equipment when unauthorized parts, materials, attachments or conflicting software is used with equipment.
 - C. Service necessitated as a result of alterations, malfunctioning computer, or network hardware is not covered. In addition, alterations or malfunctioning computer or network operating system, application, and/or network operating software are not covered. In such event, Memphis Communications Corporation reserves the right to terminate service contract if it is determined that such changes, alterations or malfunctions make it impractical to continue to service the equipment.
 - D. The reinstallation of drivers and/or installation of connected devices due to changes in network operating systems or malfunction of devices are not covered and will be billed at our current hourly rates.
 - E. Relocation of equipment is not covered under this agreement and will be billed at our current hourly rates plus transportation costs.
 - F. Changes in materials such as, but not limited to, paper or envelopes that require recalibration, reconfiguration, or adjustment for proper performance of the system is not covered under this agreement and will be billed at our current hourly rates.
 - G. **Security Solutions:** electrical work, scaffolding, lifts, LCD glass, access cards, lamps, bulbs, filters, remote controls, recordable media, and batteries.
 - H. **A/v Solutions:** electrical work, scaffolding, lifts, lamps, bulbs, filters, remote controls or lasers, batteries, recordable media
 - I. **Document Solutions (block contracts):** toner, toner bags, paper, staples, print drivers, software, software support, connectivity, hardware and cabling
 - J. **Document Solutions (CPC contracts):** paper & staples, connectivity hardware and cabling
 - K. **Duplicator Systems:** consumables (rollers and masters), supplies (ink, masters drums) and ink cartridge print heads, software, print drivers, software support, connectivity, hardware and cabling.
 - L. **Postage Systems:** ink cartridge print heads, brushes, ink reservoir, sponges, tapes, labels, software, and rate chips
 - M. **Folder/Inserter Systems:** brushes and sealing felt, paper, software, envelopes, connectivity hardware, cosmetic covers, and cables.
 - N. **Misc Mailing:** Ink cartridge print heads, brushes, ink, sponges, tapes, labels, paper, software, rate chips, cutting blades, cutter sticks, feed rollers, signature plates, fold rollers and separator pads/tips.
 - O. **Telecom solutions:** failures or disruptions of phone service provider, changes or failures of it infrastructure not provided by MCC, changes to programming or features once installation is completed, cabling.
4. **Service location** - all service under this agreement will be performed on the customer's premises during the regular business hours of Memphis Communications Corporation's technical service office, 8:00 a.m. to 5:00 p.m. Monday through Friday. Emergency calls required by the customer to be performed outside of Memphis Communications Corporation's normal business hours will be billed at the then current rates for overtime labor with a 2 hour minimum. Equipment used for multiple shift operation is subject to an extra charge.
5. **Effective date** - this agreement shall become effective when paid in full and on the date accepted by Memphis Communications Corporation and shall remain in effect until canceled by either party on thirty (30) days written notice in advance. On the anniversary date of agreement, the continuance of this agreement shall be at Memphis Communications Corporation's then current rates. Such cancellation may be effective to the entire agreement or to any one machine covered hereby. Any cancellation for whatever reason will not be subject to a refund. This agreement cannot be transferred to a third party.
6. **Installation/equipment** - customer accepts the responsibility for providing an adequate environment for the equipment as deemed necessary by Memphis Communications Corporation. Customer will provide adequate working space, a reasonably dust-free atmosphere, sufficiently stable electrical power, dedicated protection from direct sunlight and static and any other environmental conditions deemed necessary by Memphis Communications Corporation personnel. When necessary, Memphis Communications Corporation will provide accessories such as static mats, power filters, uninterruptible power supplies, etc. at its normal rates. These accessories are not included as part of this agreement.
7. **Limitations** - labor, parts, and expense necessary to repair damage caused by accident, abuse, riots, misuse, neglect, fire, water, acts of god, or to alter or rebuild equipment are not covered by this agreement. When such service is required, an estimate of charges will be made and submitted for approval before work is started. This agreement does not provide for labor necessary to install additional conversions for accessories after initial equipment installation. In the case of major repairs that would require loss of the use of equipment, rental units, in most cases, may be provided at current rates. If this equipment must be returned to the factory, customer agrees to pay for all freight charges. The remedies provided customer hereunder are customer's exclusive remedies for any loss or damage arising out of or in connection with the agreement or any technical service provided by Memphis Communications Corporation. Memphis Communications Corporation hereby specifically disclaims any and all liability for special or consequential damages arising out of or in connection with this agreement, the performance of Memphis Communications Corporation's obligations hereunder, or any negligence, misfeasance, malfeasance or nonfeasance by Memphis Communications Corporation personnel. Memphis Communications Corporation shall not be responsible for any damages caused by delay in furnishing services under this agreement.
8. **Attachments** - no attachments, internal or external, are covered under this agreement unless specifically itemized herein, or on an addendum hereto duly signed by Memphis Communications Corporation and customer. Customer shall not permit non-Memphis Communications Corporation personnel to make attachments or otherwise perform any modifications on covered equipment. Any damage to covered equipment thereafter shall be conclusively presumed to have resulted from such unauthorized attachment or modification and customer shall be liable to Memphis Communications Corporation for any service costs incurred as a result thereof.
9. **Default** - this contract may be cancelled by Memphis Communications Corporation if not paid by the anniversary date, or if any of the following occurs: customer supplies or installs own parts, refuses to allow Memphis Communications Corporation to replace a necessary part which could cause further wear to the unit or refuses to allow Memphis Communications Corporation to perform a (p.m.) preventative maintenance charged at then current rates that is required by manufacturer based on predetermined use of the number of copies that have been created, unit is moved to a location outside Memphis Communications Corporation's normal service area, customer uses non-approved supplies which cause service difficulties, damage or unacceptable quality of performance.
10. **Damage by unauthorized supplies** - failure to use recommended and specified supplies as required by manufacturer will cause expensive damage to your system and will void manufacturer's warranty as well as terminate maintenance agreement.
11. **Terms** - fees plus applicable taxes payable annually in advance. Terms net ten (10) days on date of invoice.
12. **Collection** - if in the event that this account is placed in the hands of an attorney for collection, by suit or otherwise or in any way to enforce its collection, purchaser agrees to pay all court costs of collection and litigation together with a reasonable attorney's fee.
13. **No verbal representations** - this document incorporates the entire terms and conditions of the purchase of the products or services described within. No verbal representations will be honored unless confirmed in writing on official Memphis Communications Corporation letterhead and signed by corporate official.
14. **Delinquent accounts** - as a condition of providing service, customer agrees to remain current on all future invoices including invoices for supplies as well as any other invoices between Memphis Communications Corporation and customer. Should customer become delinquent on any future invoice for any reason, Memphis Communications Corporation may in its sole discretion terminate existing service agreement upon failure of customer to satisfy any and all delinquent invoices within 10 days of notice of such delinquency from Memphis Communications Corporation to customer. Upon termination for customer's failure to satisfy invoice, Memphis Communications Corporation may terminate any and all maintenance agreements without recourse or penalty and customer will still be liable for all sums due under this agreement. Purchaser agrees to pay an interest of 1 1/2 % per month (18% annual interest rate) on all past due accounts.

- 1) Approve Change Order Proposal No. 1 – Data conduit extension for the EOC in the amount of \$4,079.09. (Joel Hollowell)



P.O. Box 8 • 10719 Hwy. 336 West • Thaxton, Mississippi 38871
(662) 489-2567 • Fax (662) 489-2584 • hconstruction2567@gmail.com

August 14, 2026

Mills & Mills Architects, PC
ATTN: William Mills
1223 Jackson Ave. E, Suite 205
Oxford, MS 38655

RE: Change Order Proposal No. 1 – Data Conduit Extension
New Building for Lafayette County
Emergency Operations Center
Oxford, MS 38655

Dear William:

We propose to add the materials and labor to complete the data conduit extensions as proposed on the attached quote by Tidwell Electric for the amount of: **\$4,079.09**

We did not add any profit or overhead because the amount can be paid for with the contingency allowance funds.

Please contact Randy Enlow if you have any questions.

Sincerely,

HOOKEER CONSTRUCTION, INC.

A handwritten signature in blue ink, appearing to read 'Graden Hooker', is written over the company name.

Graden Hooker, President



Change Order #1

Project:
LAFAYETTE CO EOC
Contract #HC-EOC
Contract Date: 6/17/2025

Customer:
HOOKER CONSTRUCTION
10719 Mississippi 336
Thaxton MS 38871

Prepared By:
Dustin Tidwell
dustin.tidwellelectric@gmail.com
8/14/2026

1. CO#1 - DATA CONDUIT EXTENSION

\$4,079.09

Description of Change:

EXTENDING THE PVC CONDUITS 4" , 2" 3/4 PVC SCH 40 75FT FROM CURRENT POSITION

Item	QTY	Price	Subtotal
3/4 PVC	90.00	\$0.38	\$34.20
LABOR	2.61	\$80.00	\$208.80
2" PVC	90.00	\$1.16	\$104.40
LABOR	4.95	\$80.00	\$396.00
4" PVC	90.00	\$3.17	\$285.30
LABOR	17.00	\$80.00	\$1,360.00
3/4 PVC 90	1.00	\$1.75	\$1.75
LABOR	0.19	\$80.00	\$15.20
2" PVC 90	1.00	\$6.80	\$6.80
LABOR	0.50	\$80.00	\$40.00
4" PVC 90	1.00	\$28.00	\$28.00
LABOR	1.33	\$80.18	\$106.64
EXCAVATION	80.00	\$12.00	\$960.00
P/OH	1.00	\$532.00	\$532.00

Total Price: \$4,079.09

7. First Regional Library – budget request
8. Award lowest bid MDA Site Development Grant Industrial Park Grading & CR1045 Road Improvement project. (Larry Britt)

**MDA SITE DEVELOPMENT GRANT
LAFAYETTE COUNTY INDUSTRIAL PARK
GRADING & ROAD IMPROVEMENTS
FOR THE LAFAYETTE COUNTY BOARD OF SUPERVISORS**

August 13, 2026

9:00 a.m.

1. ConstructConnect 3825 Edwards Road Suite 800 Cincinnati, OH 45209 Phone: 513-458-5869 Cert:	BASE BID \$ _____ ADD. ALT. \$ _____
2. 2B Dirt and Contracting, LLC 1922 Highway 82 Kilmichael, MS 39747 Phone: 662-628-0593 Cert: 25727-SC	BASE BID \$ <u>2,014,600.00</u> ADD. ALT. \$ <u>76,120.00</u> <u>2,090,720.00</u>
3. STE-BIL Grading, Inc. 170 HWY 310 Waterford, MS 38685 Phone: 662-816-0852 Cert: 22458-MC	BASE BID \$ <u>1,630,418.00</u> ADD. ALT. \$ <u>66,885.00</u> <u>1,697,303.00</u>
4. Tensar Corp 2500 Northwinds Parkway Alpharetta, Georgia 30009 Phone: 678-274-8937 Cert:	BASE BID \$ _____ ADD. ALT. \$ _____
5. Xcavators, Inc. 20831A Highway 15 N. Falkner, MS 38629 Phone: 662-837-1893 Cert: 19302-MC	BASE BID \$ <u>2,010,839.86</u> ADD. ALT. \$ <u>61,282.50</u> <u>2,072,122.36</u>
6. Road Worx, Inc. P.O. Box 6099 Knoxville, TN 37914 Phone: 865-765-0008 Cert: 24802-MC	BASE BID \$ _____ ADD. ALT. \$ _____
7. Maynord Landscaping Inc. Co 1873 China Grove Rd Vicksburg, MS 39180 Phone: 601-218-5845 Cert: 24546-MC	BASE BID \$ _____ ADD. ALT. \$ _____

8	Hope Enterprises, LLC 100 Devereaux Drive Natchez, MS 39120 Phone: 662-436-7723 Cert: 24198-MC	BASE BID \$ _____ ADD. ALT. \$ _____
9	Riverside Traffic Systems 1283 St. Hwy 178 W New Albany, MS 38652 Phone: 662-534-8257 Cert: 07122-SC	BASE BID \$ _____ ADD. ALT. \$ _____
10	ELOS Environmental, LLC 607 West Morris Ave Hammon, LA 70403 Phone: 985-662-5501 Cert: 92696	BASE BID \$ _____ ADD. ALT. \$ _____
11	Pavement Restorations, Inc 10162 Stinson Street Milan, TN 38358 Phone: 731-487-4823 Cert: 19948-SC	BASE BID \$ _____ ADD. ALT. \$ _____
12	Precision Pipeline & Drilling, LLC. 156 Ridgeland Plaza Ridgeland, MS 39157 Phone: 601-720-1740 Cert: 25449-MC	BASE BID \$ _____ ADD. ALT. \$ _____
13	Hemphill Construction Company, Inc. P. O. Box 879 Florence, MS 39073 Phone: 601-932-2060 Cert: 02449-MC	BASE BID \$ _____ ADD. ALT. \$ _____
14	Pace Excavating LLC 1146 East Industrial Access Road West Point MS 39773 Phone: 662-275-8511 Cert: 21977-SC	BASE BID \$ <u>1,625,105.46</u> ADD. ALT. \$ <u>61,409.25</u> <u>1,686,514.71</u>
15	M & N Excavators, Inc. PO Box 2489 Oxford, MS 38655 Phone: 662-816-8601 Cert: 12513-MC	BASE BID \$ <u>2,634,650.50</u> ADD. ALT. \$ <u>73,825.00</u> <u>2,708,475.50</u>

16	Ferrell Construction and Land Management 9993 Hwy 501 Forest, MS 39074 Phone: 601-562-2289 Cert: 26817-MC	BASE BID \$ _____ ADD. ALT. \$ _____
17	Joe McGee Construction Company, Inc. PO Box 340 Lake, MS 39092 Phone: 601-775-3754 Cert: 07743-MC	BASE BID \$ <u>2,029,679.25</u> ADD. ALT. \$ <u>49,909.54</u> <u>2,079,588.79</u>
18	Century Construction Group, Inc. 705 Robert E Lee Drive Tupelo, MS 38802 Phone: 662-844-3331 Cert: 18118-MC	BASE BID \$ _____ ADD. ALT. \$ _____
19	Timewell Drainage Products 6237 E Creekside Dr Olive Branch, MS 38654 Phone: 901-275-2324 Cert:	BASE BID \$ _____ ADD. ALT. \$ _____
20	Phillips Contracting Company, Inc. P. O. Box 7530 Columbus, MS 39705 Phone: 662-224-4678 Cert: 00229-MC <i>- no Book included</i>	BASE BID \$ _____ ADD. ALT. \$ _____
21	W. G. Harrell Construction, LLC 498 Hwy 30 East Booneville, MS 38829 Phone: 662-507-5976 Cert: 25870-MC	BASE BID \$ <u>1,877,367.72</u> ADD. ALT. \$ <u>63,618.10</u> <u>1,940,985.82</u>
22	Cook & Son LLC 60146 Seminole Rd. Smithville, MS 38870 Phone: 662-640-5059 Cert: 22593-MC	BASE BID \$ <u>1,453,234.30</u> ADD. ALT. \$ <u>59,325.00</u> <u>1,512,559.30</u>
23	Talbot Brothers Contracting Company, Inc. PO Box 364 Nesbit, MS 38651 Phone: 901-831-0082 Cert: 02174-MC	BASE BID \$ _____ ADD. ALT. \$ _____

BOS will have to approve

24	Brunt Site Services 485A Gumpond Beall Road Lumberton, MS 39455 Phone: 601-716-5026 Cert: 26867-SC	BASE BID \$ _____ ADD. ALT. \$ _____
25	JM Duncan, Inc. P.O. Box 1355/700 Terry Street Ripley, MS 38663 Phone: 662-587-2211 Cert: 16029-SC	BASE BID \$ _____ ADD. ALT. \$ _____
26	Simmons Erosion Control, Inc. P.O. Box 206 Lake, MS 39092 Phone: 601-775-3305 Cert: 12263-MC	BASE BID \$ _____ ADD. ALT. \$ _____
27	Blackstar Diversified Enterprises, LLC 11131 Winchester Park Drive New Orleans, LA 70128 Phone: 703-474-2563 Cert:	BASE BID \$ _____ ADD. ALT. \$ _____
28	Gregory Companies, Inc. DBA Murphree Paving P.O. Box 3291 Tupelo, MS 38803 Phone: 662-844-2331 Cert: 22120-MC	BASE BID \$ _____ ADD. ALT. \$ _____
29	Southern Pipe W&S 354 US Highway 49 Frontage Road Richland, MS 39218 Phone: 601-326-1700 Cert:	BASE BID \$ _____ ADD. ALT. \$ _____
30	G&O Supply, Co., Inc. 1344 DL Collums Drive Tupelo, MS 38801 Phone: 601-421-8926 Cert:	BASE BID \$ _____ ADD. ALT. \$ _____
31	John Griffin Trucking 591 CR 343 Falkner, MS 38629 Phone: 662-837-0787 Cert: 83-2626114	BASE BID \$ _____ ADD. ALT. \$ _____
ENGINEERING ESTIMATE BASE BID -		\$ 2,585,307.00
ENGINEERING ESTIMATE ADDITIVE ALTERNATE NO. 1 -		\$ 48,002.50

9. Consider authorizing county forces to enter private property in Yocona Ridge and Franklin Farms subdivisions to correct drainage issues and prevent damage to the county-maintained drainage system and streets. (Joel Hollowell)

10. Public Hearing on the Integrative Properties, LLC request for a conditional use to develop a Commercial Low Density (C-1) use (medical/dental clinic) in a Rural (A-1) District on Lafayette County parcels 128-33-031, 128-33-034.00, 128-33-034.01, 128-34-018.00, 128-34-018.01. (Tristan Riddell)
11. Consider the Planning Commission recommendation to approve the Integrative Properties, LLC conditional use request to develop a Commercial Low Density (C-1) use (medical/dental clinic) in a Rural (A-1) District on Lafayette County parcels 128-33-031, 128-33-034.00, 128-33-034.01, 128-34-018.00, 128-34-018.01. (Tristan Riddell)



Lafayette County Development Services
Planning, Zoning & Building Inspection

To: Lafayette County Board of Supervisors
From: Tristan Riddell, Planner
Meeting Date: August 17, 2026
Case: 26-106

Applicant: Integrative Properties, LLC
Request: Conditional Use – Commercial Use (C-1)

Location: 60 CR 271
Parcel Number(s): 128-33-031, 128-33-034.00, 128-33-034.01, 128-34-018.00, 128-34-018.01.
PPIN: 26100, 23454, 35465, 35491, 35997

Existing Zoning District: Rural (A-1)
Adjacent Zoning Districts: Rural (A-1) and Agricultural (A-2)

Background

Integrative Properties, LLC requests a conditional use permit to convert an existing residential structure for use as a medical and dental clinic. The requested conditional use is for a 34-acre property located on the north side of CR 271, approximately six-tenths of a mile from its intersection with Hwy 6.

The property is split zoned, the front half is designated Rural (A-1) and the back half is designated Agricultural (A-2). The existing residence proposed for conversions is located on the front half of the property zoned A-1. Properties adjacent to the north, west, and south of the front half of the property are designated A-1.

The proposed use, professional clinic, is classified as a permitted use in the Commercial Low Density District (C-1) (Article XIII, Section 1301.A.). C-1 commercial uses may be authorized within the A-1 district upon issuance of a conditional use permit in accordance with Section 2105 of the Lafayette County Zoning Ordinance.

Conditional Use Permit Requirements - Article XXI, Section 2105

Conditional Use Permits shall only be granted if adequate provision and arrangement has been made concerning the following:

A. Ingress and egress to property and proposed structures thereon with particular reference to vehicular and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.

The property is accessed from an existing driveway off CR 271. The change in use would not require any upgrades to the ingress/egress. As stated in the proponent's application, daily traffic is not anticipated to exceed 25 vehicles. The existing access will provide adequate site access for emergency vehicles.

B. Off-street parking and loading areas.

Adequate parking and loading areas are depicted on the conceptual site plan. Off-street parking requirements will comply with Article XIX of the Lafayette County Zoning Ordinance.

C. Refuse and service areas.

The property will be served by the Lafayette County Solid Waste Department.

D. Utilities, with reference to locations, availability, and compatibility.

The request is for a change in use. The property currently has necessary utilities.

E. Screening and buffering with reference to type, dimensions, and character.

For a C-1 use abutting an A-1 district a minimum 30' buffer and a 6' screen are required. The existing structure is adequately set back from the front and side property lines. Adequate existing vegetative screening exists along the property frontage with CR 271.

F. Required yards and other open space.

The developer's conceptual site plan meets all dimensional requirements for the C-1 district.

G. General compatibility with adjacent properties and other property in the district.

The character of the neighborhood is rural, consisting primarily of large lot single family residential development. There is a total of ten individual addresses along CR 271 from its intersection with Hwy 6 and the northern end of the subject property. The majority of residences along CR 271 are located along its western portion, which is primarily accessed from CR 269 further west along Hwy 6. The limited number of additional daily trips anticipated with the change in use is generally compatible with the neighborhood and district.

H. Any other provisions deemed applicable by the Board of Supervisors.

Public Notice/Public Comment

Conditional use requests shall be heard at a properly notified public hearing (Article XXI, Section 2105.03, LCZO). Notice of this public hearing was posted on the subject property and printed in the Northeast Mississippi Daily Journal.

Adjacent landowners were properly notified by certified mail in advance of the Planning Commission meeting. To date, Planning Staff has not received any written public comment.

There was no opposition to the request presented during the Planning Commission public hearing.

Planning Commission Recommendation

The Planning Commission voted unanimously (5-0) to recommend approval of the conditional use request.

Integrative Properties, LLC

602 Thrasher Pt
Oxford, MS 38655
662-415-7020
ptinvest@tuckerenterprises.org

Integrative Properties, LLC is requesting a variance for commercial use of the home and land located at 60 CR 271, Oxford, MS 38655 currently owned by Barton Clarke Phipps. We have a contract on this property and are scheduled to close near the end of July, 2026. This property includes a 4,000 sf home (approximate), container home and barn on approximately 34 acres encompassing the following Parcel IDs: 128 -33-031.00, 128 -33-034.00, 128 -33-034.01, 128 -34-018.01, and 128 -34-018.00. This property is located approximately 8.3 miles east of the Oxford Courthouse off Hwy 6 and 0.8 miles north of Hwy 6 on County Road 271. We are purchasing this property to convert the home into a day-use medical and dental clinic to house the practices of Dr. Patrick Tucker (Tucker Integrative Medical Group) and Dr. Rebecca Edwards (Grove Dental). Dr. Tucker practices Functional Medicine, Regenerative Medicine and Aesthetics. Dr. Edwards practices Biologic Dentistry. These clinics are relatively low volume with each of us seeing up to 12 patient visits per day. We do not foresee any significant changes to the exterior structure of the home except adding a parking area to accommodate approximately 12-14 vehicles. There will be some need for interior renovation including changes to meet ADA and commercial requirements. Should we get approval, we will close on the property as soon as possible, get permitting and start interior renovation.

Proposed uses of the Clinic

- Medical and Dental Clinics (day-use, non-residential)

Hours of Operation

- Monday-Friday
 - 8:00am-6:00pm

Traffic

- There would be low to moderate traffic increase, which would likely not be noticeable or interrupt County Road 271 traffic flow.

Noise

- There would be no noticeable noise from the clinic.

Safety Concerns

- There would be no apparent safety concerns. Specifically, our practices are not focused on caring for psychiatric patients or patients with addictions.

Thank you for your consideration!

Sincerely,

A handwritten signature in blue ink, appearing to read "Patrick E. Tucker, MD".

Patrick E. Tucker, MD

CR 271 NEIGHBORS

NEIGHBOR

Brantley & Cicely Cox
William L Rogers, IV
Harold Sandefer
Christopher Scott Sandefer
Bethel Baptist Church
Bettie B. Sparks
Sue T. Keiser

ADDRESS

89 CR 225 OXFORD MS 38655
P O BOX 1440 OXFORD MS 38655
69 CR 271 OXFORD MS 38655
3648 HWY 342 PONTOTOC MS 38863
Lafayette County Baptist Association
16 CR 225 OXFORD MS 38655
211 ST ANDREWS CIRCLE, OXFORDMS, 38655

June 09, 2026

Re: Integrative Properties, LLC
602 Thrasher Pt
Oxford, MS 38655

Rezoning of Parcels #s:

128 -33-031.00, 128 -33-034.00, 128 -33-034.01, 128 -34-018.01, and 128 -34-018.00
Lafayette County, Mississippi

To Whom It May Concern:

On behalf of Integrative Properties, LLC and in accordance with the Lafayette County Subdivision Regulations you are being notified as an adjacent property owner of their intent to request approval to rezone to C-1 Commercial Low Density their property located on the east side of County Road 271, north of Hwy 6 east of Oxford. This property belonged to Barton Clarke Phipps and is physically located at 60 CR 271, Oxford, MS 38655.

We have requested two variances for the property:

- 1) C-2 (Commercial Low Density) zoning of the property from A-1 (Rural) to utilize the home on the property for a day-use, non-residential medical and dental clinic. Specifically, neither the medical nor dental clinics practice psychiatry, psychology or addiction medicine.
- 2) C-2 (Commercial Low Density) zoning of the rear of the property from A-2 (Agricultural) to renovate and utilize the barn as a small wedding and reception venue.

We don't feel like either of the changes to the property will affect our neighbors and will be happy to discuss any concerns that anyone might have. Our evaluation shows that the closest neighbor's home to the barn (wedding venue) will be over 240 yards

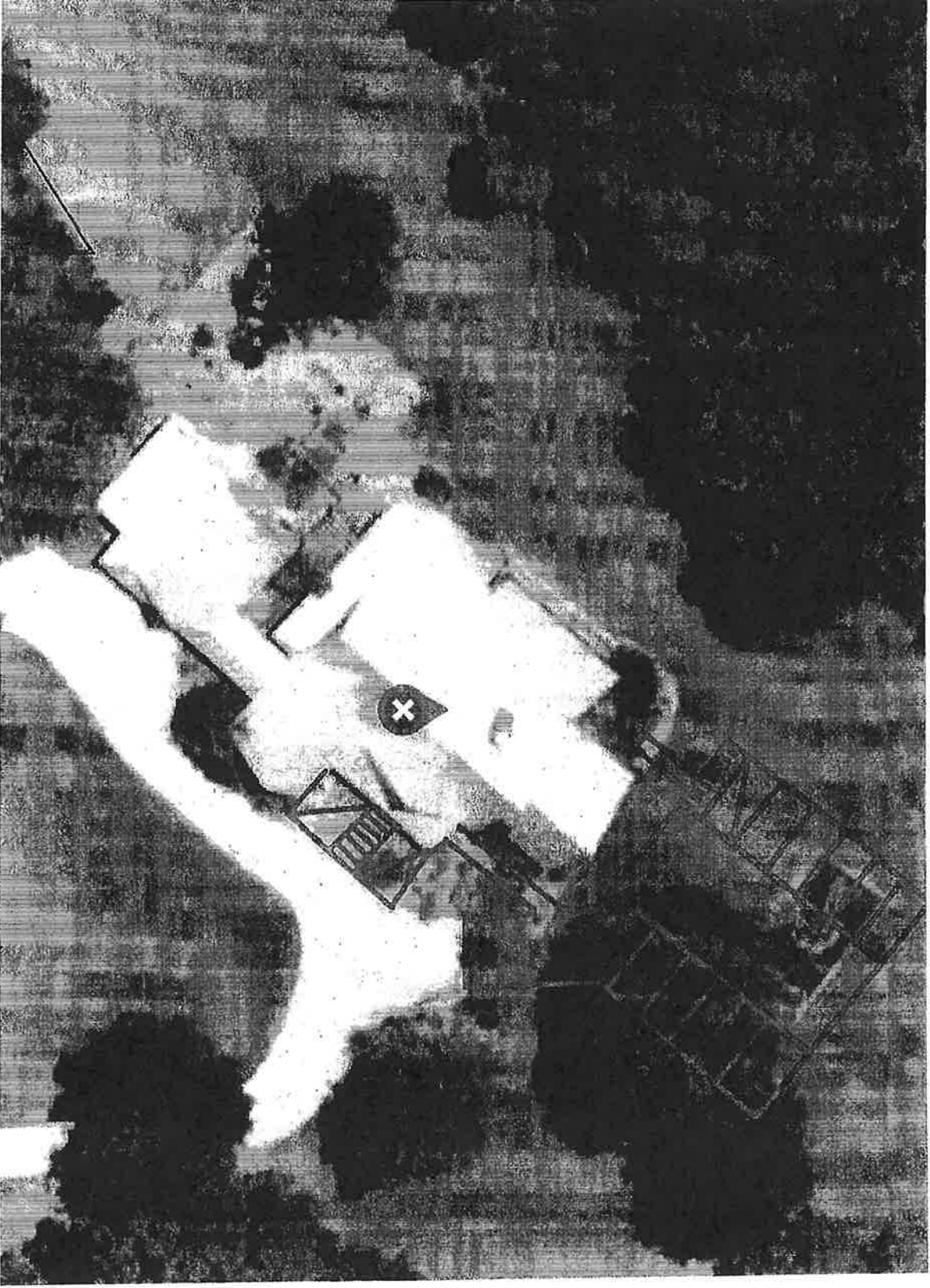
The rezoning will be presented for approval at the June meeting of the Lafayette County Planning Commission. This meeting will be held in the Board of Supervisor's room on the second floor of the Lafayette County Chancery Building on Monday, June 22, 2026, at 5:30 pm.

If you have any questions or comments please contact Dr. Pat Tucker of Integrative Properties, LLC at 662-598-1001. Additionally public comments, or concerns can be submitted to the planning department in writing or via email at planning@lafayettecoms.com.

Sincerely,

Patrick E. Tucker, MD





MEDICAL/DENTAL CLINIC WITH PARKING

Lafayette County MS



6/8/2026, 12:38:39 PM

Roads and Railroads

2

LandHook

Leader

TWPRNG_Line

SectionLine

Parcels

lafayette_ms_water

lafayette_ms_twpng

lafayette_ms_subref

lafayette_ms_secno

lafayette_ms_rname

lafayette_ms_roadname

lafayette_ms_parno

lafayette_ms_misc

lafayette_ms_town

lafayette_ms_exempt

lafayette_ms_dist

lafayette_ms_dim

lafayette_ms_citylim

lafayette_ms_ac

1:4,514



Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, EPA

12. Public Hearing on the Highway 328, LLC request for a conditional use to develop a Commercial Medium Density (C-2) use (flex space) in a Rural (A-1) on Lafayette County parcel 189-29-002.04. (Tristan Riddell)
13. Consider the Planning Commission recommendation to approve the Highway 328, LLC conditional use request to develop a Commercial Medium Density (C-2) use (flex space) in a Rural (A-1) District on Lafayette County parcel 189-29-002.04. (Tristan Riddell)
14. Consider the Planning Commission recommendation to approve the Highway 328, LLC final site plan for Yocona Rise Subdivision, Lot 1. (Tristan Riddell)



Lafayette County Development Services
Planning, Zoning & Building Inspection

To: Lafayette County Board of Supervisors
From: Tristan Riddell, Planner
Meeting Date: August 17, 2026
Case: 26-411 and 26-412

Applicant: Hwy 328, LLC

Request:

1. Conditional Use – C-2 Use in A-1 District
2. Site Plan

Location: MS Hwy 328, six tenths of a mile west of its intersection with MS Hwy 7

Parcel Number(s): 189-29-002.04

PPIN: 42652

Existing Zoning District: Rural (A-1)

Adjacent Zoning Districts: All – Rural (A-1)

Background

Highway 328, LLC requests approval of a conditional use permit authorizing a Commercial Medium Density (C-2) use within a Rural (A-1) district, and the approval of the associated site plan for the development of a multi-tenant, office/warehouse (flex space) business on Lot 1 of the Yocona Rise Subdivision.

The commercial development consists of four (4) multi-tenant office/warehouse flex space buildings containing a total of twenty-one (21) tenant units and approximately 31,650 square feet of building area.

The property is wholly within the Special Flood Hazard Area (Zone A). A floodplain study has been submitted for review/approval. Any new construction shall comply with the Lafayette County Floodplain Ordinance.

1. Conditional Use Permit

Conditional Use Permits shall only be granted if adequate provision and arrangement has been made concerning the following (Article XXI, Section 2105, Lafayette County Zoning Ordinance (LCZO)):

A. Ingress and egress to property and proposed structures thereon with particular reference to vehicular and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.

The property is accessed directly from MS Hwy 328. The driveway will be via a shared connection/frontage road that will serve both lots. An encroachment permit will be obtained

through the Mississippi Department of Transportation (MDOT), and the access will conform to MDOT and LCLDSR. The access will provide adequate site access for emergency vehicles.

B. Off-street parking and loading areas.

Off-street parking will comply with LCLDSR and will be reviewed and approved at the time of Site Plan review.

C. Refuse and service areas.

The property will be served by the Lafayette County Solid Waste Department.

D. Utilities, with reference to locations, availability, and compatibility.

Water will be provided by the City of Oxford. Sewer will be provided by individual on-site wastewater systems. Permits for installation of on-site sewer treatment will be obtained through the Mississippi Department of Health prior to lot development.

E. Screening and buffering with reference to type, dimensions, and character.

Buffer and Screening Requirements shall be a minimum width of 40 feet on the west, east and southern property lines.

F. Required yards and other open space.

Setbacks will comply with the Lafayette County Zoning Ordinance.

G. General compatibility with adjacent properties and other property in the district.

The adjacent property to the west and the property approximately 800 feet to the east are currently used for commercial activity. Based on the existing and planned commercial land uses on the adjacent properties, the extension of the City of Oxford's water certificated area and the impending widening project occurring on MS Hwy 7, the proposed commercial use is generally compatible with adjacent properties and property in the district.

H. Any other provisions deemed applicable by the Board of Supervisors.

Public Notice/Public Comments

Conditional use requests shall be heard at a properly notified public hearing (Article XXI, Section 2105.03, LCZO). Notice of this public hearing was posted on the subject property and printed in the Northeast Mississippi Daily Journal.

Adjacent landowners were properly notified by certified mail in advance of the Planning Commission meeting.

To date, Planning Staff has not received any written public comment. There was no opposition to the request presented during the Planning Commission public hearing.

Planning Commission Recommendation

The Planning Commission voted unanimously (4-0) to recommend approval of the conditional use request subject to the following condition:

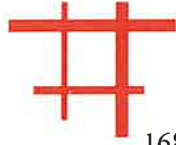
1. In the event the project constructs a sign at the entrance of the development, the applicant shall submit a plan for review and approval by the Lafayette County Development Services Department. Any sign installed shall be monument style and shall not exceed 8-foot in height by 14-foot in length.

2. Final Site Plan Approval

The Yocona Rise Subdivision, Lot 1 Final Site Plan conforms with the requirements of the Lafayette County Land Development Standards and Regulations (LCLDSR) (Article III, Section 3 and Appendix 5, LCLDSR).

Planning Commission Recommendation

The Planning Commission voted unanimously (4-0) to recommended approval of the final site plan.



GRANBERRY & ASSOCIATES
CIVIL ENGINEERING FIRM

1686 Padington Park Lane, Germantown, TN 38138
(662) 312-9672

June 13, 2026

Joel Hollowell
Lafayette County Planning/Building Department
300 North Lamar
Oxford, MS 38655

RE: CONDITIONAL USE LETTER REQUEST
Lot #1 of Yocona Rise Subdivision
Parcel ID#: 189-29-002.04 (part of)
Lafayette County, MS

Dear Joel:

On behalf of Highway 328, LLC, we are submitting the attached Request for Conditional Use Application for an 11.35-acre parcel of land owned by Highway 328, LLC and is Lot #1 of the (proposed) Yocona Rise Subdivision. The property is more specifically located on MS Hwy 328, on the south side of the road, West of MS Hwy 7, and East of CR 321 in Lafayette County.

According to Lafayette County's Zoning Map, the property is currently zoned A-1: Rural District. the property is currently zoned A-1: Rural District. We are requesting a Conditional Use permit to construct and operate a multi-tenant, office/warehouse (flex space) business. Attached is a Conceptual Site Plan which depicts the proposed layout of the buildings, drives, parking and other pertinent features to be constructed on the site. (The majority of the excavation work was performed as part of the proposed Yocona Rise Subdivision project.)

The requirements for granting a Conditional Use Permit, as defined by the Lafayette County Zoning Ordinance, and our conformance with those requirements are as follows:

- A. Ingress and egress to property and proposed structures thereon with particular reference to vehicular and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.***
- Ingress and egress shall be provided to the site by connecting directly to MS Hwy 328. This proposed driveway connection is part of a shared connection/small frontage road for the Yocona Rise Subdivision. The access drive is proposed to be a 26' wide driveway and will have sufficient width and alignment (vertical and horizontal) to provide necessary emergency vehicular access as required by Lafayette County and the International Fire Code. All necessary MDOT permits will be obtained and the driveway/frontage road connection will conform to MDOT and Lafayette County Standards.
- B. Off-street parking and loading areas.***
- All off-street parking spaces will be 90° and shall be constructed to the dimensions as required by the Lafayette County Zoning Ordinance. The required number of parking spaces will also be in accordance with the Lafayette County Zoning Ordinance and

the parking calculations along with the location of said parking spaces are shown on the Conceptual Site Plan.

- Each flex space unit will have its own designated “Loading Bay” with 12’ wide roll-up doors for access to the storage area of the units. Loading areas shall be properly striped/marked to prevent unauthorized vehicles from blocking or parking in the loading area. The site is designed such that a medium duty box truck (WB-40) can safely navigate the site and back into (for loading/unloading) the “Loading Bay” as shown on the Conceptual Site Plan.

C. Refuse and service areas.

- Storage, collection and handling of all refuse will be in approved dumpster location and conform to the screening, structure, and location requirements of Lafayette County, and to the requirements set forth by the garbage collection services provider. A proposed dumpster location is shown on the Conceptual Site Plan and located behind one of the buildings, which will help in screen the dumpsters from Hwy 328.

D. Utilities, with reference to locations, availability, and compatibility.

- Water supply will be provided by the City of Oxford, and a Letter of Intent to Serve from the City is attached to this application.
- Sanitary sewer treatment shall be handled with an Individual Onsite Wastewater Disposal System (IOWDS) and the area for the proposed IOWDS is shown on the Conceptual Site Plan. The type of system will be dependent upon the soil type and all necessary MSDH and MDEQ permits will be acquired and the IOWTS shall be installed according to the approved permits.

E. Screening and buffering with reference to type, dimensions, and character.

- The property borders MS Hwy 328 along the north side of the property and no buffer is required.
- The property borders A-1: Rural district zoned property on the east, west, and to the south. However, the adjacent property to the west is Lot #3 of the Hwy 328 Subdivision and a Conditional Use for a wholesale landscape supply with outdoor storage business was approved earlier this year and is in the process of being constructed. The property to the east is currently row crop, agricultural property and the property to the south is located across the Yocona River and is also row crop, agricultural property.
- The screening and buffering on all 3 sides (west, east, and south) shall have a 40’ width minimum landscaped buffer with a minimum height of 6 feet. The southern border is the Yocona River and it creates a natural boundary and buffer between the two properties, and the eastern and western border and adjacent to the eastern and western property lines, also contains a natural boundary and buffer in the form of vegetative and tree lined drainage ditches. In areas along the south, eastern, and western property lines where the existing, vegetated buffer is not sufficient, supplemental vegetation and/or screening will be proposed.

F. Required yards and other open space.

- The front yard setback shall be fifty (50) feet, the side yard setbacks along the east property line shall be ten (15) feet and along the west property line shall be thirty (30) feet (except where a larger side yard is required to meet buffer yard requirements); the rear yard shall also have a setback of thirty (30) feet. All other open areas that do not include any impervious surface will be appropriately landscaped and meet the requirements of Lafayette County Zoning Ordinance.

G. General compatibility with adjacent properties and other property in the district.

- The property immediately adjacent to our site on the west (Lot #3 of Highway 328 Subdivision) is an existing commercial use site on a parcel of property similar in size to our lot we are proposed to develop. Although we do not know the use on Lot #2, (located immediately adjacent to and east of our site) that will be proposed/developed on Lot #2, we anticipate the same/similar type of commercial use to be constructed.
- In Highway 328 Subdivision, Lot #2, Lot #1, and property adjacent to Lot #1 of Hwy 328 Subdivision (located to our west) along with properties located approximately 800' to the east of our site are existing commercial use sites on parcels of property similar in size to the size of this lot.
- Other properties in the area are agricultural and have not been developed. The past lack of utility infrastructure has played a major factor in the lack of development in the area. However, with the recent City expansion of the water certificated area and the widening of MS Hwy 7, development will assuredly follow.

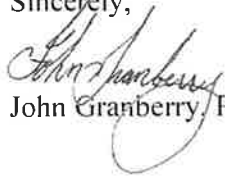
H. Any other provisions deemed applicable by the Board of Supervisors.

- We believe that the following additional factors should be considered by the Board of Supervisors:
 - o *Location of the property on/adjacent to MS Hwy 328 and proximity to MS Hwy 7, a major arterial roadway.* As development occurs throughout the County, a major goal of the County is to preserve and protect the existing roadway infrastructure of local County roads. With direct access to MS Hwy 328 and then MS Hwy 7, the traffic generated by this development would have minimal impact on the County's existing road system.
 - o *The expansion of the City of Oxford's water infrastructure and Water Certificated Area.* The City of Oxford is in the process of completing the expansion of its certificated area to the property and water infrastructure has already been extended to the property. The expanded area will encompass this property and a large portion of the surrounding properties and also provides other properties in the area access to necessary water infrastructure to promote development.
 - o *The development of Hwy 328 Subdivision.* The Conditional Use Permit and subdivision, and individual Conditional Use Permits and development on all lots within Hwy 328 Subdivision has also contributed to change the character of the surrounding area from an existing rural, agricultural area to a more commercialized and developed area.
 - o *The current demand and lack of inventory for large, commercial/industrial lots in Lafayette County.* With the City of Oxford and Lafayette County experiencing exponential growth and development, the demand for supporting commercial

business development and expansion is outpacing the current supply causing a need for commercial/industrial development parcels in the County.

We understand that this Conditional Use Permit in no way is approval of a Site Plan or allows for any construction activities to take place on the property. If approved for the Conditional Use, development of the property will follow all applicable Lafayette County Ordinances and Regulations and shall begin with application and submittal of a Site Plan to Lafayette County. If any other information is needed, please do not hesitate to contact me.

Sincerely,

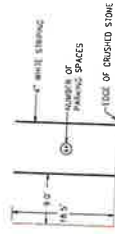
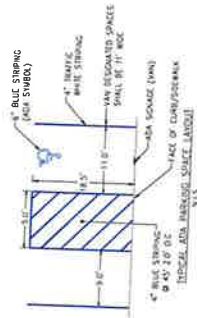


John Granberry P.E.

PARKING CALCULATION TABLE

DESIGNATED AREA	AREA CLASSIFICATION	UNITS	NUMBER OF UNITS	PARKING REQUIREMENT (PER ZONING ORDINANCE)	NUMBER OF SPACES REQUIRED IN
WAREHOUSE / STORAGE AREA	WAREHOUSE, WHOLESALE AND STORAGE	SQUARE FOOT	21,000	1 SPACE / 100 SF	21
WAREHOUSE / STORAGE AREA	WAREHOUSE, WHOLESALE AND STORAGE	OPERATING VEHICLE	21	1 SPACE / OPERATING VEHICLE	21
OFFICE SPACE AND LOADING AREAS	OFFICES	SQUARE FOOT	10,500	1 SPACE / 500 SF	21
TOTAL PARKING REQUIRED					73

NOTE: 1) SPACE CALCULATION ROUNDED TO THE NEAREST WHOLE NUMBER. 2) 14' TRAIL LOADING/LOADING AREA COUNTED AS OPERATING VEHICLE PARKING SPACE.



TYPICAL PARKING SPACE LAYOUT

TOTAL PARKING SPACES = 92

- LEGEND**
- PROPERTY BOUNDARY LINE
 - ADJACENT PROPERTY LINE
 - SETBACK LINE
 - EXISTING CENTERLINE
 - EXISTING BUILDING
 - EXISTING PAVEMENT/CURB/GUTTER
 - EXISTING EDGE OF PAVEMENT
 - EXISTING DRIVE
 - EXISTING FENCE
 - PROPOSED CENTERLINE
 - PROPOSED DRIVE
 - PROPOSED SIDEWALK
 - PROPOSED FENCE
 - CONCRETE PAVEMENT AREA
 - CRUSHED STONE PAD AREA
 - ON-SITE WASTEWATER TREATMENT AREA
 - LANDSCAPING AND/OR BUFFERING AREA



CONCEPTUAL SITE PLAN

FOR

**LOT #1 @
YOCONA RISE S/D**
LAFAYETTE COUNTY, MISSISSIPPI
JUNE 2026

SCALE: 1" = 50'
PROPOSED AREA: 81.53 ACRES
ZONING: A-1 (AGRICULTURAL)

Prepared by:

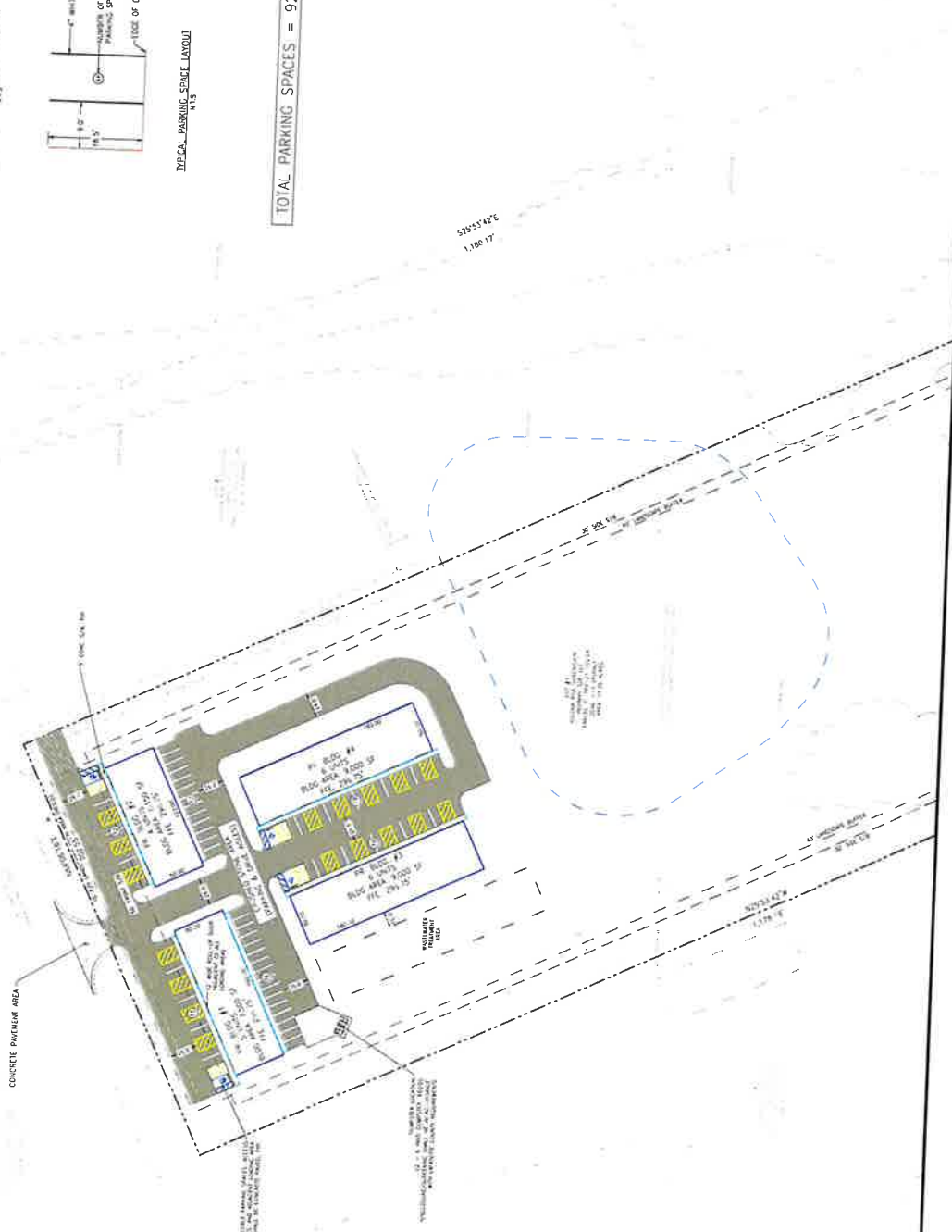


GRANBERRY & ASSOCIATES
CIVIL ENGINEERING FIRM

1000 PINEVIEW PARKWAY, SUITE 100
LAFAYETTE, MISSISSIPPI 39305
TEL: 601.711.4025

DEVELOPER:

YOCONA RISE, LLC
60500 MS 2455





LANDSCAPE NOTE:
LANDSCAPING ALONG FRONTAGE OF LOTS SHALL COMPLY WITH
LAFAYETTE COUNTY'S STANDARDS AND REQUIREMENTS, AND
SHALL BE SUBMITTED TO THE LAFAYETTE COUNTY BOARD OF
LAFAYETTE COUNTY THROUGH THE APPROVAL PROCESS.



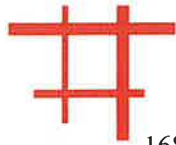
VICINITY MAP
1" = 200'

- LEGEND**
- PROPERTY CORNERS
 - IRON PIPE/PIN
 - CONCRETE MONUMENT
 - PROPERTY BOUNDARY LINE
 - ADJACENT PROPERTY LINE
 - NEW FENCE
 - NEW FENCE
 - LIMIT OF DISTURBANCE
 - UNDISTURBED AND/OR
BUTTER AND AID

VEGETATION AND TREE PLAN FOR FLEX SPACE SITE PLAN - YOCANA RISE S/D: LOT #1 LAFAYETTE COUNTY, MISSISSIPPI JUNE 2026 SCALE: 1" = 100' ZONING: A-1 (RURAL AGRICULTURAL) PROPERTY AREA: 11.25 ACRES

CRANBERRY & ASSOCIATES
CIVIL ENGINEERING FIRM

OWNER:
YOCANA RISE, LLC
3115 HWY 238
OAKFORD, MS 38655



GRANBERRY & ASSOCIATES
CIVIL ENGINEERING FIRM

1686 Padington Park Lane, Germantown, TN 38138
(662) 312-9672

June 13, 2026

Joel Hollowell
Lafayette County Planning/Building Department
300 North Lamar
Oxford, MS 38655

RE: SITE PLAN REQUEST
Flex Space Development – Lot #1 of Yocona Rise Subdivision
Parcel ID#: 189-29-002.04 (part of)
Lafayette County, MS

Dear Joel:

On behalf of Highway 328, LLC (and Joel Reeves), we are submitting the enclosed Site Plan Application and supporting documentation for the proposed Flex Space Development to be located on Lot #1 of the Yocona Rise Subdivision.

The subject property consists of approximately 11.35 acres located on the south side of MS Highway 328, west of MS Highway 7, and east of County Road 321 in Lafayette County, Mississippi. The proposed development consists of four (4) multi-tenant office/warehouse flex space buildings containing a total of twenty-one (21) tenant units and approximately 31,650 square feet of building area. Building #1 contains approximately 7,500 square feet and five (5) tenant units, Building #2 contains approximately 6,150 square feet and four (4) tenant units, Building #3 contains approximately 9,000 square feet and six (6) tenant units, and Building #4 contains approximately 9,000 square feet and six (6) tenant units.

A Conditional Use Permit application for the proposed office/warehouse flex-space development is being considered concurrently by Lafayette County and is scheduled to be heard prior to consideration of this Site Plan application. The applicant understands that any Site Plan approval granted by Lafayette County shall be contingent upon approval of the associated Conditional Use Permit and is subject to all conditions of approval.

The subject property is Lot #1 of the proposed Yocona Rise Subdivision. Access, drainage, utilities, and other site infrastructure have been coordinated with the subdivision improvements. Additionally, the majority of the grading and earthwork associated with preparation of the site is being approved as part of the subdivision development.

The proposed development includes the following improvements:

- Four (4) multi-tenant office/warehouse flex-space buildings totaling approximately 31,650 square feet.
- Twenty-one (21) individual flex-space units intended to accommodate office, warehouse, contractor, and similar commercial uses as contemplated by the accompanying Conditional Use Permit application.

- Internal access drives, parking facilities, ADA-accessible parking spaces, loading areas, and associated site circulation improvements.
- Shared access to MS Highway 328 through the frontage road/access drive constructed as part of the Yocona Rise Subdivision development.
- Water service provided by the City of Oxford. A Letter of Intent to Serve has been issued by the City of Oxford and is included with this application.
- Individual onsite wastewater treatment facilities designed in accordance with the requirements of the Mississippi Department of Health and the Mississippi Department of Environmental Quality. These facilities are being submitted and will be permitted by the MSDH. A copy of the approval/permit will be sent to the County once received and prior to construction.
- Stormwater management facilities, including drainage conveyance and detention infrastructure coordinated with the approved Yocona Rise Subdivision drainage system.
- Landscaping, buffering, screening, and other site improvements as shown on the enclosed plans.

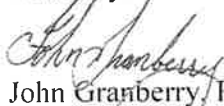
Vehicular access to the development will be provided through the previously approved frontage road connection to MS Highway 328. All necessary permits and approvals required by the Mississippi Department of Transportation and other applicable agencies will be obtained prior to construction.

The property is located within a FEMA Special Flood Hazard Area (Zone A). A Floodplain Development Permit application has previously been submitted to Lafayette County for the proposed floodplain improvements associated with this development (Lot 1) and to establish a Base Flood Elevation (BFE) and the final grade of the finished floor elevation of all buildings/structures is 1.5' above the calculated BFE.

The proposed development has been designed in accordance with applicable Lafayette County development regulations and standards. The enclosed plans demonstrate compliance with applicable requirements related to access, parking, utilities, drainage, site circulation, and other development criteria.

We respectfully request review and approval of the enclosed Site Plan. Should you require any additional information or have any questions regarding the proposed development, please do not hesitate to contact me.

Sincerely,



John Granberry, P.E.
Granberry & Associates, LLC

SITE PLAN & CONSTRUCTION PLANS

FOR

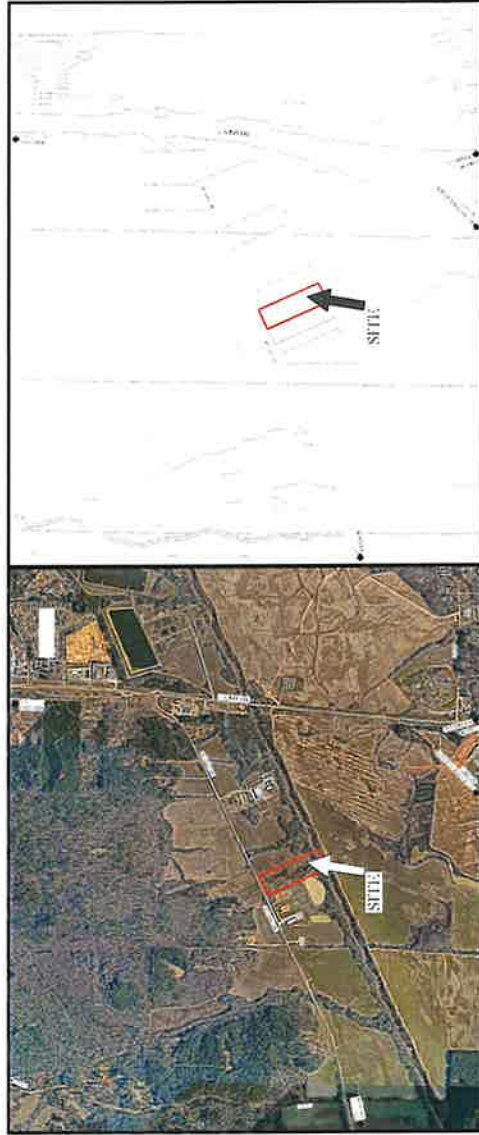
FLEX SPACE COMMERCIAL COMPLEX: YOCONA RISE SUBDIVISION - LOT #1

L A F A Y E T T E C O U N T Y , M I S S I S S I P P I



LOCATION MAP
N.T.S.

INDEX OF SHEETS	
COVER SHEET	1
GENERAL NOTES	2
EXISTING CONDITIONS	3
SITE PLAN	4
PROPOSED DRAINAGE	5
SPOT ELEVATIONS	6
PROPOSED CONTROL PLAN PHASE 1	7
PROPOSED CONTROL PLAN PHASE 2	8
UTILITY PLAN AND OTHER PRELIMINARY PLAN	9
STREET AND SIGNING PLAN	10
TRAFFIC CONTROL PLAN	11
CONSTRUCTION DETAILS	12
PROPOSED DRAINAGE	13
PROPOSED CONTROL DETAILS	14
PROPOSED CONTROL DETAILS	15
PROPOSED CONTROL DETAILS	16



AERIAL MAP
SCALE: 1" = 1/4" MI

VICINITY MAP
SCALE: 1" = 1/4" MI

DEVELOPER:

HIGHWAY 328, LLC
31 HWY 328
OXFORD, MS 38655

[Signature]

BY SIGNING THESE PLANS, THE ENGINEER CERTIFIES THAT HE HAS REVIEWED THE PLANS AND THAT THEY COMPLY WITH THE REQUIREMENTS OF THE MISSISSIPPI ENGINEERING BOARD AND THE MISSISSIPPI ENGINEERING COUNCIL. THE ENGINEER IS NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE PLANS OR THE RESULTS OF THE ENGINEERING WORK. THE ENGINEER IS NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE PLANS OR THE RESULTS OF THE ENGINEERING WORK.

CIVIL ENGINEER:

GRANBERRY & ASSOCIATES
CIVIL ENGINEERING FIRM

GRANBERRY & ASSOCIATES
1686 PADDINGTON PARK LANE
GERMANTOWN, TN 38138
PH: 662.312.9672
jgranberry@mcclarygranberry.com

SURVEYOR:



WILLIAMS ENGINEERING CONSULTANTS, LLC
720 NORTH LAMAR BLVD., STE. A
OXFORD, MS 38655
PH: 662.236.9675
rdanids@williamscc.com

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE CITY OF OXFORD ENGINEERING DEPARTMENT AT (662) 232-2306 AND SHALL NOTIFY THE LAFAYETTE COUNTY PLANNING DEPARTMENT AT (662) 232-0037 BEFORE COMMENCING CONSTRUCTION
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY OF ANY CONSTRUCTION TO BE CONDUCTED ON THE PROJECT OR IN THE VICINITY OF THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
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WATER SPECIFICATION NOTES

- ALL WATER MAIN LINES SHALL BE 8" DIA. DUCTILE IRON PIPE, CLASS 350
- ALL WATER SERVICE LINES SHALL BE 1" MINIMUM DIAMETER AND SHALL MEET THE CITY OF OXFORD SPECIFICATIONS
- CONSTRUCTION AND MATERIALS FOR THE WATER DISTRIBUTION SYSTEM SHALL CONFORM TO THE SPECIFICATIONS OF THE MISSISSIPPI DEPARTMENT OF HEALTH AND THE CITY OF OXFORD
- ALL WATER MAINS SHALL BE INSTALLED AT LEAST 10 FEET DEEPER THAN 18 INCHES VERTICALLY FROM ANY SERVICES MAIN OR MANHOLE (UNDER DRAIN) SYSTEM. WATER MAINS CROSS OTHER SERVICES MAINS, THE MINIMUM REQUIREMENTS MAY BE MAINTAINED IF THE CONTRACTOR CAN PROVE TO THE CITY OF OXFORD THAT THE MAINS WILL NOT BE DAMAGED BY THE CROSSING. BOTH WATER AND SEWER MAINS AND A MINIMUM SEPARATION OF AT LEAST 18 INCHES SHALL BE MAINTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- THE CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF EXISTING WATER MAINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- ALL NEW CUT AND/OR FULLED AREAS LOCATING ADEQUATE VEGETATION SHALL BE MAINTAINED FOR A PERIOD OF 12 MONTHS AFTER COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- SPACING OF THE HYDRANTS MAY VARY, BUT SHALL BE A MINIMUM OF 30' CLEARANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- THANKS TO THE CITY OF OXFORD FOR THE CONSTRUCTION OF THE WATER MAINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.

SEWER NOTES

- SEWER SERVICE SHOULD BE LAYED AT LEAST 10 FEET DEEPER THAN 18 INCHES VERTICALLY FROM ANY EXISTING OR PROPOSED WATER MAIN WITH THE WATER MAIN LOCATED ABOVE THE SEWER PIPE. SEWERS CROSSING WATER MAINS SHALL BE MAINTAINED AT LEAST 18 INCHES VERTICALLY FROM THE WATER MAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- ALL SEWER SERVICE MAINS AND BRANCHES SHALL BE 8" DIA. DUCTILE IRON PIPE, CLASS 350. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- CONSTRUCTION AND MATERIALS FOR THE SEWAGE SERVICE SYSTEM SHALL CONFORM TO THE SPECIFICATIONS OF THE MISSISSIPPI DEPARTMENT OF HEALTH AND THE CITY OF OXFORD
- ALL NEW CUT AND/OR FULLED AREAS LOCATING ADEQUATE VEGETATION SHALL BE MAINTAINED FOR A PERIOD OF 12 MONTHS AFTER COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- ALL SEWER LINES ARE TO HAVE A MINIMUM 1% SLOPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- CONTRACTOR SHALL MAINTAIN SINK CROSSINGS OF COMMON OPEN SPACE AREAS WITH 12" DIA. DUCTILE IRON PIPE, CLASS 350. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- SEWER SERVICES SHOULD BE LOCATED NEAR THE CENTER OF EACH LOT AND SHALL BE SPACED 10' FROM WATER SERVICES WHERE PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- SEWER LINES (12" DIA. DUCTILE IRON PIPE, CLASS 350) SHALL BE INSTALLED AT LEAST 10 FEET DEEPER THAN 18 INCHES VERTICALLY FROM ANY EXISTING OR PROPOSED WATER MAIN WITH THE WATER MAIN LOCATED ABOVE THE SEWER PIPE. SEWERS CROSSING WATER MAINS SHALL BE MAINTAINED AT LEAST 18 INCHES VERTICALLY FROM THE WATER MAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- ALL REACHES ARE TO BE BACK-FILLED ACCORDING TO THE LAFAYETTE COUNTY STANDARD CONSTRUCTION SPECIFICATIONS AND ASTM D2231. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE PERFORMED AT LEAST 10 FEET DEEPER THAN 18 INCHES VERTICALLY FROM ANY EXISTING OR PROPOSED WATER MAIN WITH THE WATER MAIN LOCATED ABOVE THE SEWER PIPE. SEWERS CROSSING WATER MAINS SHALL BE MAINTAINED AT LEAST 18 INCHES VERTICALLY FROM THE WATER MAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.

EROSION CONTROL NOTES

- EROSION CONTROL MEASURES MUST BE INSTALLED IN ACCORDANCE WITH THE MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ) EROSION CONTROL MANUAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- IF THE EROSION CONTROL MEASURES SELECTED AND CONSTRUCTED FAIL TO ADEQUATELY PROTECT THE EROSION CONTROL AREA, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- ANY EROSION CONTROL MEASURES SHOWN HEREON ARE INTENDED AS A MINIMUM GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- EROSION CONTROL MEASURES SHALL BE THE MINIMUM NECESSARY FOR GRADING AND EROSION CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- SEEDING CONSTRUCTION SHALL BE USED IN ORDER TO MINIMIZE EXPOSURE OF THE EROSION CONTROL AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- ANY EROSION CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- EROSION CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
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- EROSION CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.
- EROSION CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF OXFORD AND THE LAFAYETTE COUNTY ENGINEERING DEPARTMENT.

COVERING AGENCY CONTACT INFORMATION

- LAFAYETTE COUNTY PLANNING AND DEVELOPMENT DEPARTMENT
- 300 NORTH LAMAR
P.O. BOX 130
LAFAYETTE, MISSISSIPPI 39303
PHONE: (662) 232-0037
- LAFAYETTE COUNTY ENGINEER
- 300 NORTH LAMAR
P.O. BOX 130
LAFAYETTE, MISSISSIPPI 39303
PHONE: (662) 232-1761
- LAFAYETTE COUNTY FIRE DEPARTMENT
- 300 NORTH LAMAR
P.O. BOX 130
LAFAYETTE, MISSISSIPPI 39303
PHONE: (662) 232-0037
- LAFAYETTE COUNTY POLICE DEPARTMENT
- 300 NORTH LAMAR
P.O. BOX 130
LAFAYETTE, MISSISSIPPI 39303
PHONE: (662) 232-0037
- CITY OF OXFORD, ENGINEERING DEPARTMENT
- 107 COURTHOUSE SQUARE
P.O. BOX 1931
OXFORD, MISSISSIPPI 39303
PHONE: (662) 232-2306
- CITY OF OXFORD, UTILITIES DEPARTMENT
- 300 N. LAMAR
P.O. BOX 130
LAFAYETTE, MISSISSIPPI 39303
PHONE: (662) 232-2373
- MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ)
- ENVIRONMENTAL PERMITS DIVISION
P.O. BOX 2381
JACKSON, MISSISSIPPI 39209
PHONE: (601) 357-3711
- MISSISSIPPI DEPARTMENT OF TRANSPORTATION (MDOT)
- 570 E. WOODROW WILSON AVE
P.O. BOX 15718
JACKSON, MISSISSIPPI 39215
PHONE: (601) 576-7518

REVISION NO.	DESCRIPTION OF CHANGE	APPROVED DATE

DIVISION OF ENGINEERING
GENERAL NOTES
LAFAYETTE COUNTY, MS

DATE: 1/15/2024 PROJECT NO: 2023-143
DESIGN BY: J. CRAMER, P.E. DATE: 1/15/2024 SCALE: NTS
DRAWN BY: J. CRAMER, P.E. DATE: 1/15/2024

FLEX SPACE SITE P-31 -
LOT #1 OF YOCONA RISE SUBDIVISION
OWNER: HIGHWAY 328, LLC
LOCATED: 0.5 MILES N. OF HIGHWAY 328



LEMA-NOTE: THIS PROPERTY IS LOCATED IN ZONE "A" WHICH IS DESIGNATED AS A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YR FLOOD, WITHOUT BASE FLOOD ELEVATIONS DETERMINED PER FLOOD INSURANCE RATE MAP. MAP NO. 25077C1070C, EFFECTIVE DATE NOVEMBER 28, 2010
BEING CONVEYED: 1.00 AC. OF LAND BEING LOCATED SOUTH 82.26 FEET AND WEST 24.50 FEET OF THE PUB. BLANCHARD (89 W) MAIL SET AT THE EDCG OF PAVEMENT HAVING A KNOWN ELEVATION OF 284.69 AND BEING LOCATED SOUTH 82.26 FEET AND WEST 24.50 FEET OF THE PUB.

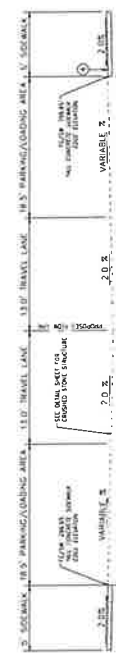
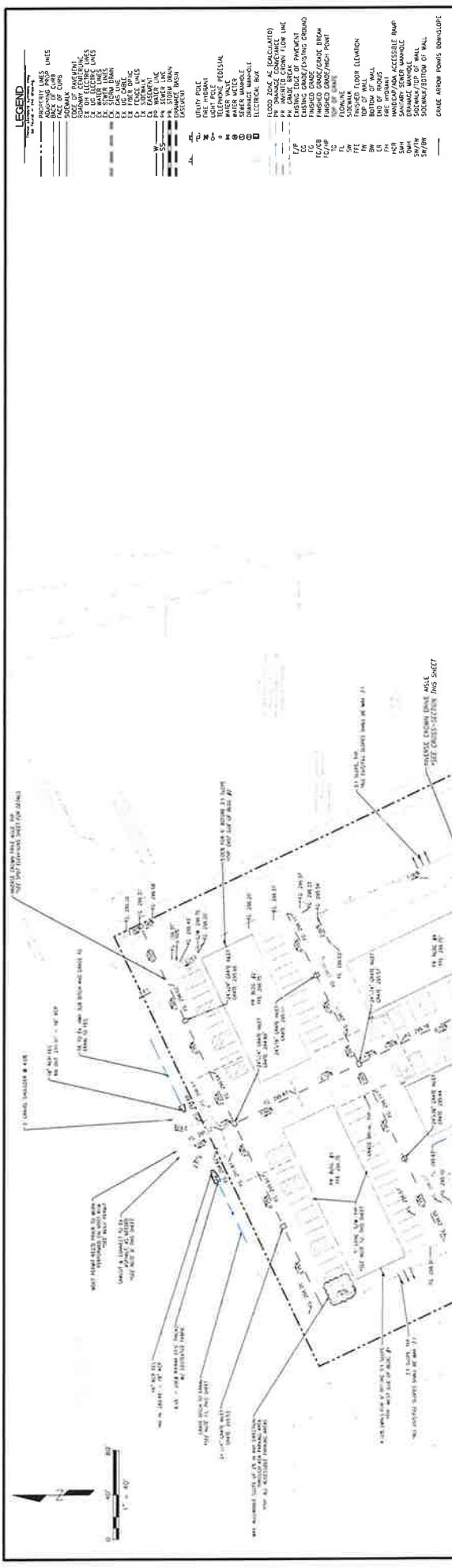


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1. ALL WORK AND MATERIALS SHALL CONFORM WITH ALL LAFALETTE COUNTY REGULATIONS AND CODES AND O.S.T.A. STANDARDS.
2. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. LAFALETTE COUNTY SHALL HAVE THE RIGHT TO ENTER THE PROPERTY FOR THE PURPOSE OF MAINTAINING THE DRAINAGE WATER SYSTEMS AND TO CONDUCT ANY NECESSARY INSPECTIONS AND REPAIRS TO SUCH UTILITIES.
4. ANY DAMAGE TO THE PAVED PARKING LOTS, STREETS OR PATHS CAUSED BY SOIL SETTLEMENT OR OTHER REASONS THAT ARE NOT DIRECTLY CAUSED BY THE COUNTY'S ACTION OF RELOCATING NEIGHBORHOODS TO THE UNDERGROUND LOTTORE, SHALL BE REPAIRED BY THE COUNTY.
5. EXISTING PAVED PARKING LOTS, STREETS, PATHS AND WALKWAYS ARE NOT TO BE REMOVED OR COVERED BY ANY DEVELOPED OR UNDEVELOPED LOT.
6. SANITARY SEWER FROM THIS DEVELOPMENT WILL BE TREATED BY INDIVIDUAL HOUSEHOLD WASTE WATER TREATMENT SYSTEMS. DEVELOPMENT CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL SANITARY SEWERS ARE PROPERLY CONNECTED TO EXISTING SEWER LINES.
7. EXISTING SANITARY SEWERS ARE DRAWING TO STRUCTURE OR LOCATIONS AS INDICATED IN S.A.D.B. 1.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LAFALETTE AND THE STATE OF LOUISIANA TO EXCAVATE THE TRENCHES AT THE CONTINUANCE OF THE EXISTING FLOOD DISCHARGE WITH THE MAIN CHANNEL.
9. SEWER SHALL BE MINIMUM 24" SIZE AND SHALL REMAIN IN PLACE DURING AND FOLLOWING DRAINAGE DRAINAGE DURING ALL FLOOD EVENTS.
10. SANITARY SEWING DEEP OF PAVEMENT AS INDICATED ON EXISTING PLANS SHALL BE MAINTAINED AS SUCH.
11. FLOOD PREVENTION DRAINAGE: A BASE FLOOD ELEVATION BEET WAS DETERMINED OF 295.0' AND ALL PERMANENT STRUCTURES AND FLOOD PREVENTION DRAINAGE TO THE LAFALETTE COUNTY FLOOD PREVENTION DRAINAGE SHALL BE CONSTRUCTED TO PROTECT THE FLOOD PREVENTION DRAINAGE.
12. FLOOD PREVENTION DRAINAGE: A PROPOSED 9" SECTION AND CONTINUE DOWNSIDE WITH DITCH SLOUGHTS DITCH MUST HAVE 1' FLOOD PREVENTION DRAINAGE THROUGHOUT DITCH DRAINING SECTION AND WATER SHALL BE STANDING IN GRADED DITCH UPON COMPLETION OF THE PROJECT.
13. EXISTING SIDEWALK SLOPE SHALL BE MAINTAINED AS SUCH.
14. ALL GUTTER DOWNSPOUTS SHALL HAVE CONCRETE SPASH PANS OR DOWNPANT DROPPON CONTAINERS, MEASURES DISCHARGE.

ITEM NO.	REVISION DESCRIPTION OF CHANGE	APPROVAL DATE	

	FLEX SPACE SITE #24 LOT #1 of YOCONA RISE SUBDIVISION OWNER: HIGHWAY 128, LLC ENGINEER: GRANBERY & ASSOCIATES, LLC	COUNTY: WILLIAMS TOWNSHIP, ME TOWN: J. GRADNEY, ME DEED: 175/2276 DATE: 1/15/2026 BOOK: 175 PAGE: 40
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CROSS-SECTION A-A (INVERSE CROWN)

SEE ELEVATION NOTES

1. ALL NEW AND EXISTING SHALL CONFORM WITH ALL LAFAYETTE COUNTY REGULATIONS AND CODES AND B.S.H.A. STANDARDS.
2. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO DIGGING. EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE.
3. LAFAYETTE COUNTY SHALL HAVE THE RIGHT TO ENTER THE PROPERTY FOR THE PURPOSE OF MAINTAINING THE DRAINAGE, WATER AND SEWER SYSTEMS LOCATED WITHIN PUBLIC EASEMENTS. THE CONTRACTOR SHALL NOT HAVE THE RESPONSIBILITY TO REPAIR AND MAINTAIN SUCH UTILITIES.
4. ALL PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) PIPE, UNLESS OTHERWISE NOTED. PIPE LOCATED ON ADJ. ROW SHALL BE INSTALLED WITHIN THE ROW.
5. SANITARY SEWER FROM THIS DEVELOPMENT WILL BE INSTALLED BY ANOTHER OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING SANITARY SEWER.
6. DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MARKING ALL ALL LIGHT TRANGLES ARE CLEAR OF OBSTRUCTIONS.
7. EXISTING EASING EDGE OF PAVEMENT IS NOTED. NEW PAVEMENT ELEVATION SHALL MATCH EXISTING ALONG EXISTING LINE.
8. PREVENTION OF EROSION: A BASE FLOOD ELEVATION (BFE) WAS DETERMINED OF 295.0' AND ALL PERMANENT STRUCTURES AND FUTURE DEVELOPMENT OF ADJACENT LOTS/SECTIONS SHALL HAVE FINISHED FLOOR ELEVATIONS AS NOTED IN THE FINISHED FLOOR ELEVATION.
9. EROSION CONTROL: PROPOSED ROADS AND DRIVEWAYS SHALL BE CONSTRUCTED WITH DITCHES. DITCHES MUST HAVE FIVE FEET DITCH GRADING THROUGHOUT DITCH SECTION AND NO WATER SHALL BE STANDING IN DITCHES UPON COMPLETION OF CONSTRUCTION.
10. ALL CONSTRUCTION SHALL BE WITHIN THE ROW WITH ADJACENT CONCRETE/ENHANCED STONE CONCRETE CROSS-SLOPE SHALL BE 1% AWAY FROM BUILDING.
11. ALL OUTER DOWNSPOUTS SHALL HAVE CONCRETE SPLASH PAD OR EQUIVALENT EROSION CONTROL MEASURES AT DISCHARGE LOCATION AND BE DIRECTED AWAY FROM BUILDING.
12. UNLESS OTHERWISE NOTED, ALL CONSTRUCTION SHALL BE TO CONCRETE PERMANENT.

DIVISION OF ENGINEERING																																																					
SPOT ELEVATIONS																																																					
LAFAYETTE COUNTY, MS																																																					
DATE: 8/20/2022	PROJECT NO: 1000-16																																																				
DESIGNED BY: J. J. JENNINGS, P.E.	CHECKED BY: J. J. JENNINGS, P.E.																																																				
DRAWN BY: J. J. JENNINGS, P.E.	DATE: 8/20/2022																																																				
SCALE: 1" = 40'																																																					
REVISION <table border="1"> <thead> <tr> <th>ITEM NO.</th> <th>DESCRIPTION OF CHANGE</th> <th>APPROVAL</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> <td></td> </tr> <tr> <td>6</td> <td></td> <td></td> <td></td> </tr> <tr> <td>7</td> <td></td> <td></td> <td></td> </tr> <tr> <td>8</td> <td></td> <td></td> <td></td> </tr> <tr> <td>9</td> <td></td> <td></td> <td></td> </tr> <tr> <td>10</td> <td></td> <td></td> <td></td> </tr> <tr> <td>11</td> <td></td> <td></td> <td></td> </tr> <tr> <td>12</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL	DATE	1				2				3				4				5				6				7				8				9				10				11				12			
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LOT #1 OF YOCONA RISE SUBDIVISION OWNER: HIGHWAY 228, LLC DESIGNER: GRADNEY & ASSOCIATES, LLC																																																					





1. ALL WORK AND MATERIALS SHALL CONFORM WITH CITY OF DUNSMO STANDARDS, JAPANESE COUNTY REGULATIONS AND CODES AND C.S.A. STANDARDS.
2. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO DIGGING. EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. GRASSHOLE AND ASSOCIATED FURNISHING LOCATED WITHIN ARE OWNED BY THE PUBLIC AGENCIES. GRASSHOLE WITTO DEVELOPMENT/CONSTRUCTION IS NECESSARY FOR WORKING TO HAVE ALL WORK MATERIALS BE CLEAR OF OBSTRUCTIONS.

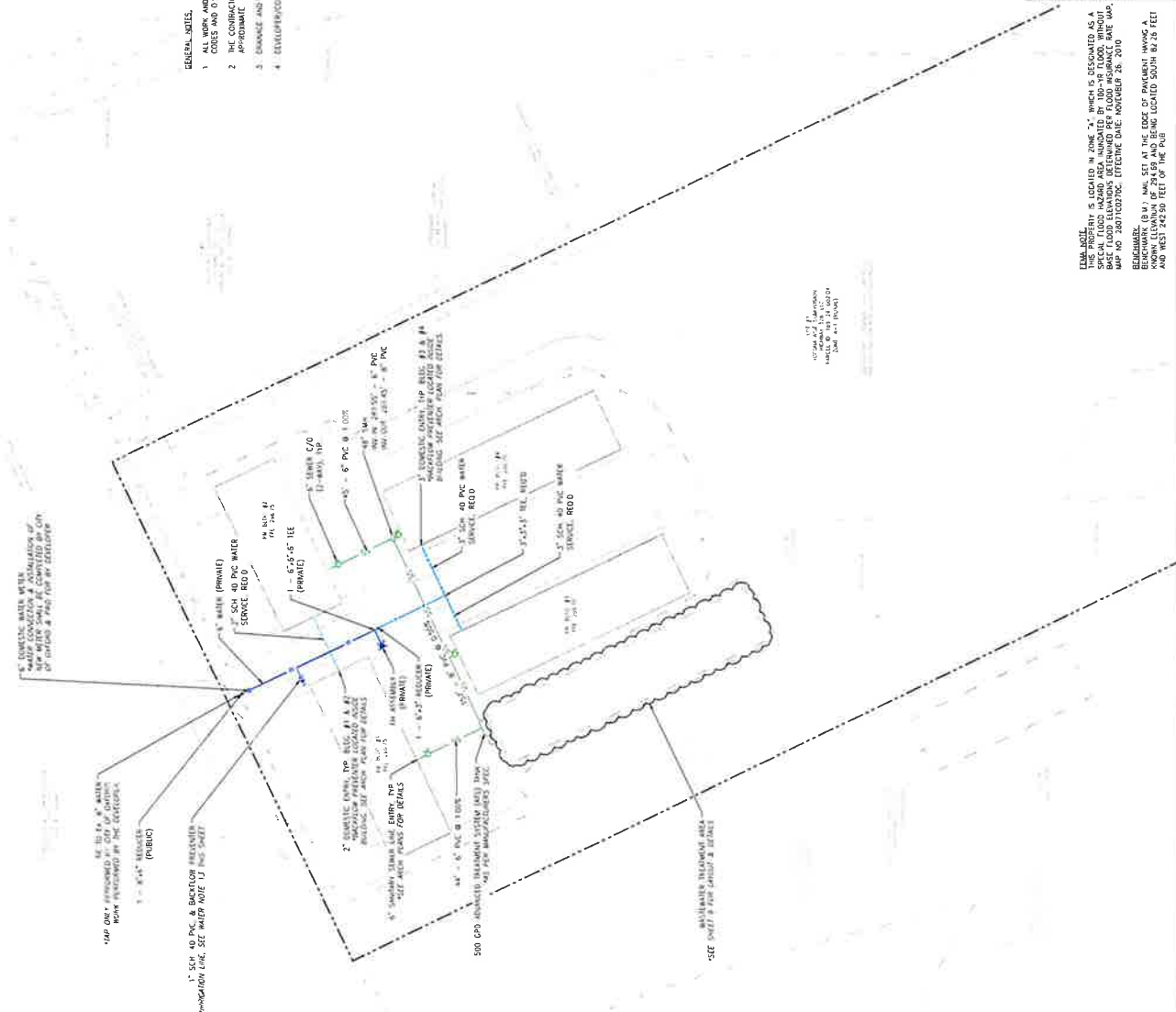
1. ALL WATER SERVICE LINES SHALL BE 8" DRAINAGE (HD) DUCTILE IRON PIPE, CLASS 250
2. ALL WATER SERVICE LINES SHALL BE 1" DRAINAGE (HD) DUCTILE IRON PIPE, CLASS 250
3. CONSTRUCTION AND MATERIALS FOR THE WATER DISTRIBUTION SYSTEM SHALL CONFORM TO THE SPECIFICATIONS OF THE WESTERN PIPE FABRICATORS ASSOCIATION (WPA).
4. THE CITY OF DOWNEY'S REQUIREMENTS FOR THE WATER DISTRIBUTION SYSTEM SHALL BE THE SAME AS THE CITY OF DOWNEY'S REQUIREMENTS FOR THE WATER DISTRIBUTION SYSTEM.
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1. SANDWICH SEWER SHOULD BE Laid AT LEAST 1 FEET UNIDIRECTIONALLY AND 1/2 VERTICALLY FROM ANY EXISTING OR PROPOSED WATER MAIN, WITH THE WATER MAIN LOCATED ABOVE THE SANDWICH SEWER. CROSSING WATER MAINS SHALL BE PROTECTED BY A MINIMUM OF 18" OF CONCRETE. SANDWICH SEWERS SHALL BE Laid AT LEAST 12" FROM ANY EXISTING OR PROPOSED WATER MAIN OF THE FULL JOINT SHOULD BE LOCATED SUCH THAT IT SHALL BE CHANGED IN DIRECTION OR OF CONCRETE FOR A MINIMUM OF 10' FROM THE JOINT TO THE END OF THE CROSSING.
2. SANDWICH SEWERS SHALL BE INSTALLED ON A MINIMUM 1% SLOPE.
3. CONSTRUCTION AND MATERIALS FOR THE SANDWICH SEWER SYSTEM SHALL CONFORM TO THE SPECIFICATIONS OF THE MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY, THE MISSISSIPPI DEPARTMENT OF HEALTH, AND LAMARITTE COUNTY.
4. A PERMIT SHALL BE REQUIRED BEFORE ANY SANDWICH SEWERS, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
5. SEWER SERVICE EVERYWHERE SHOULD BE APPROPRIATE LOCATION. EXACT LOCATION SHALL BE COORDINATED WITH THE BUILDING ARCHITECT AND SHALL BE SPACED TO AVOID FROM WATER SERVICES. A COUNTY PERFORMANCE AGREEMENT SHALL BE OBTAINED FROM THE COUNTY ENGINEER BEFORE ANY SANDWICH SEWER IS Laid.
6. ANY DAMAGE TO EXISTING CITIES SHALL BE REPAIRED AND REPLACED OR REPAIRED IN ACCORDANCE TO MANUFACTURERS AT THE DISCRETION OF THE COUNTY. ALL REPAIRS SHALL BE MADE PRIOR TO CITY ACCEPTANCE.
7. SANDWICH SEWERS SHALL BE Laid IN PLACE AT LEAST 18" ABOVE ANY EXISTING OR PROPOSED WATER MAINS. SANDWICH BAGGELS WILL BE REINFORCED IN PLACE AT LEAST 18" ABOVE ANY EXISTING OR PROPOSED WATER MAINS. IF THE INSIDE DUCT TEST IS TO BE RUN UNDER A ROAD OR RAIL OR UNDER A STREET, THE SANDWICH BAGGEL SHALL BE REINFORCED TO 50% OF THE INSIDE DUCT TEST.
8. ALL SANDWICH SEWERS LOCATED UNDER ANY EXISTING OR PROPOSED WATER MAINS SHALL BE TRAFFIC RATED.

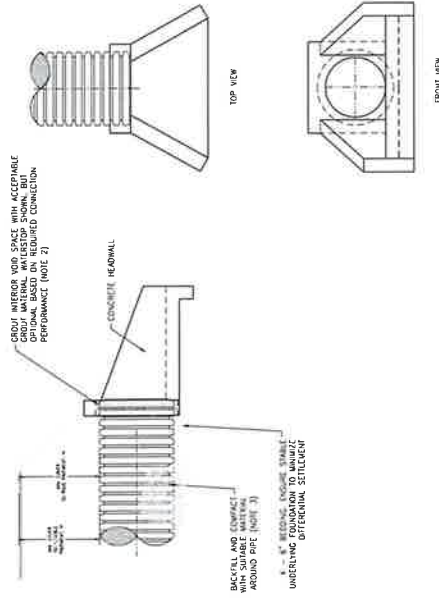
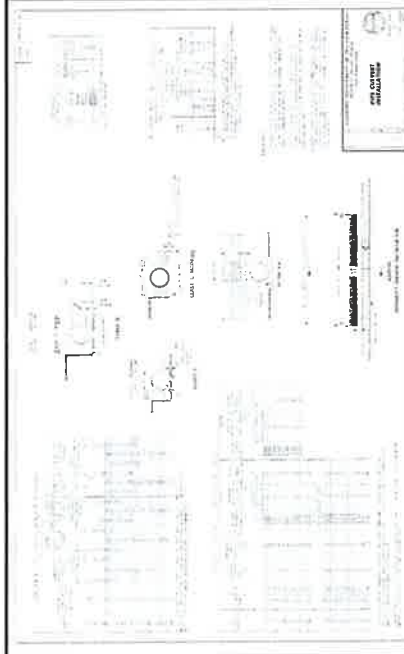
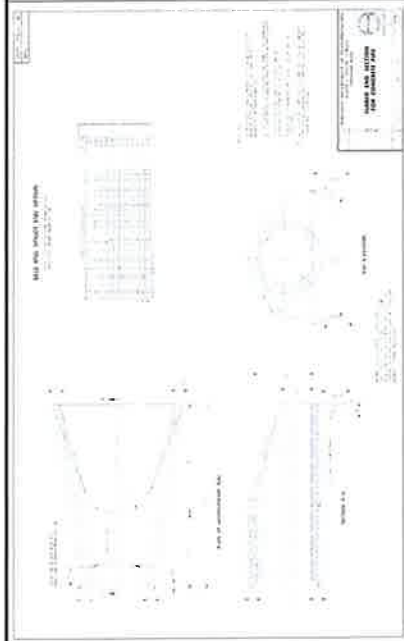
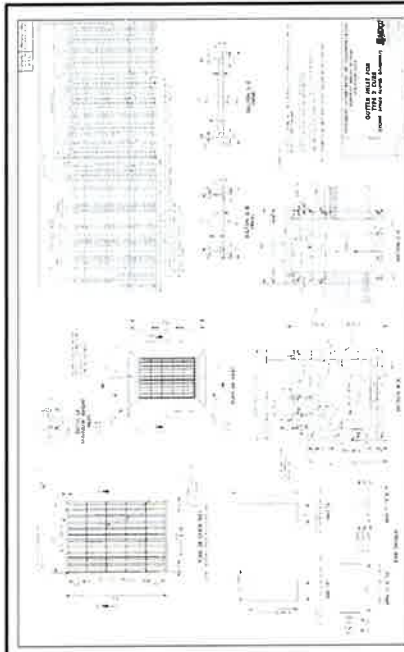
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FLOOD NOTICE
THIS PROPERTY IS LOCATED IN ZONE "A," WHICH IS DESIGNATED AS A SPECIAL FLOOD HAZARD AREA, UNMANNED BY 100-YR FLOOD, WITHOUT BASIC FLOOD ELEVATIONS DETERMINED PER FLOOD INSURANCE RATE MAP. MAP NO. 2807100276E, EFFECTIVE DATE: NOVEMBER 26, 2010.

REMARKS:
BEACH (18' W.) AND SET AT THE EDGE OF PRESENT UNWAVE A DITCH (18' W.) OF 254.69 AND BEING LOCATED SOUTH 84.26 FEET AND WEST 242.50 FEET OF THE PUB.



91. 99 01 1114



- NOTES:
1. INSERT PIPE INTO HEADWALL WITH PIPE RESTING ON BEDDING. THE PIPE SHOULD BE IN THE APPROPRIATE CENTER OF THE OPENING.
 2. GROUP PIPE INTO CONCRETE STRUCTURE WITH 50% TO 75% OF THE PIPE LENGTH BEING IN THE CONCRETE STRUCTURE. THE REMAINING PIPE LENGTH SHOULD BE IN THE GROUND. THE PIPE SHOULD BE INSTALLED PER ASTM D1321, LATEST EDITION. SEE STANDARD DETAIL FOR DETAILS.
 3. PIPE AT AND AROUND STRUCTURE CONNECTION TO BE INSTALLED PER ASTM D1321, LATEST EDITION. SEE STANDARD DETAIL FOR DETAILS.
 4. MINIMUM COVER MINIMUM COVER (H) IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" (300mm) FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOODING FOR TRAFFIC APPLICATIONS. MINIMUM COVER (H) IS 24" (600mm) FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOODING FOR TRAFFIC APPLICATIONS. MINIMUM COVER (H) IS 24" (600mm) FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOODING FOR TRAFFIC APPLICATIONS.

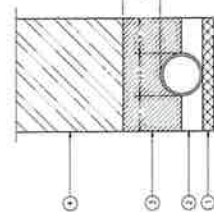
HEADWALL DETAIL
SCALE: N.T.S.

REVISION	DESCRIPTION OF CHANGE	DATE
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DIVISION OF ENGINEERING
DRAINAGE DETAILS
LAFAYETTE COUNTY, MS

DATE: 9/22/2022 PROJECT NO: 1000-160
DESIGNER: J. GANESBERRY, P.E.
CHECKER: J. GANESBERRY, P.E.
SCALE: N.T.S.

LOT #1 OF YOCONA RISE SUBDIVISION
OWNER: HIGHWAY 328, LLC
ENGINEER: GANESBERRY & ASSOCIATES, LLC



HEADWALL DETAIL
SCALE: N.T.S.

1. BEDDING: 4" CLEAN SAND COMPACTED TO 95% STANDARD PRACTICE
2. MANHOLE: CLEAN SAND AND WORKED AROUND PIPE AND COMPACTED TO 95% STANDARD PRACTICE
3. MINIMUM BACKFILL: NAIVE MATERIAL PLACED & COMPACTED IN 12" LIFTS TO 12" OPTIMUM MOISTURE CONTENT
4. FINAL BACKFILL: NAIVE MATERIAL PLACED & COMPACTED IN 12" LIFTS TO 12" OPTIMUM MOISTURE CONTENT

HEADWALL DETAIL
SCALE: N.T.S.



PROPERTY BOUNDARY LINE
ADJACENT PROPERTY LINE
EXISTING CENTERLINE
EXISTING BUILDING
PROPOSED BUILDING
EXISTING PAVEMENT/CURB/CUTSIDE
EXISTING TOOL OF PATHWAY
EXISTING GRAVEL
EXISTING FENCE
PROPOSED FENCE
LANDSCAPING AND/OR

PLANTING LIST						
SYMBOL	KEY	Botanical Name	Common Name	Quantity	Colour	Height
TREES						
	DTG	Quercus Spina	Spina Oak	5	2" dia	5' 0"
	DAW	Quercus robur	English Oak	5	2" dia	5' 0"
SHRUBBERY						
	SPN	Sambucus racemosa	Sourspine	100 1/2" x 1/2"	-	3' x 3'
	ESP	Salix caprea Linn	Goats Willow	20	-	3' x 3'



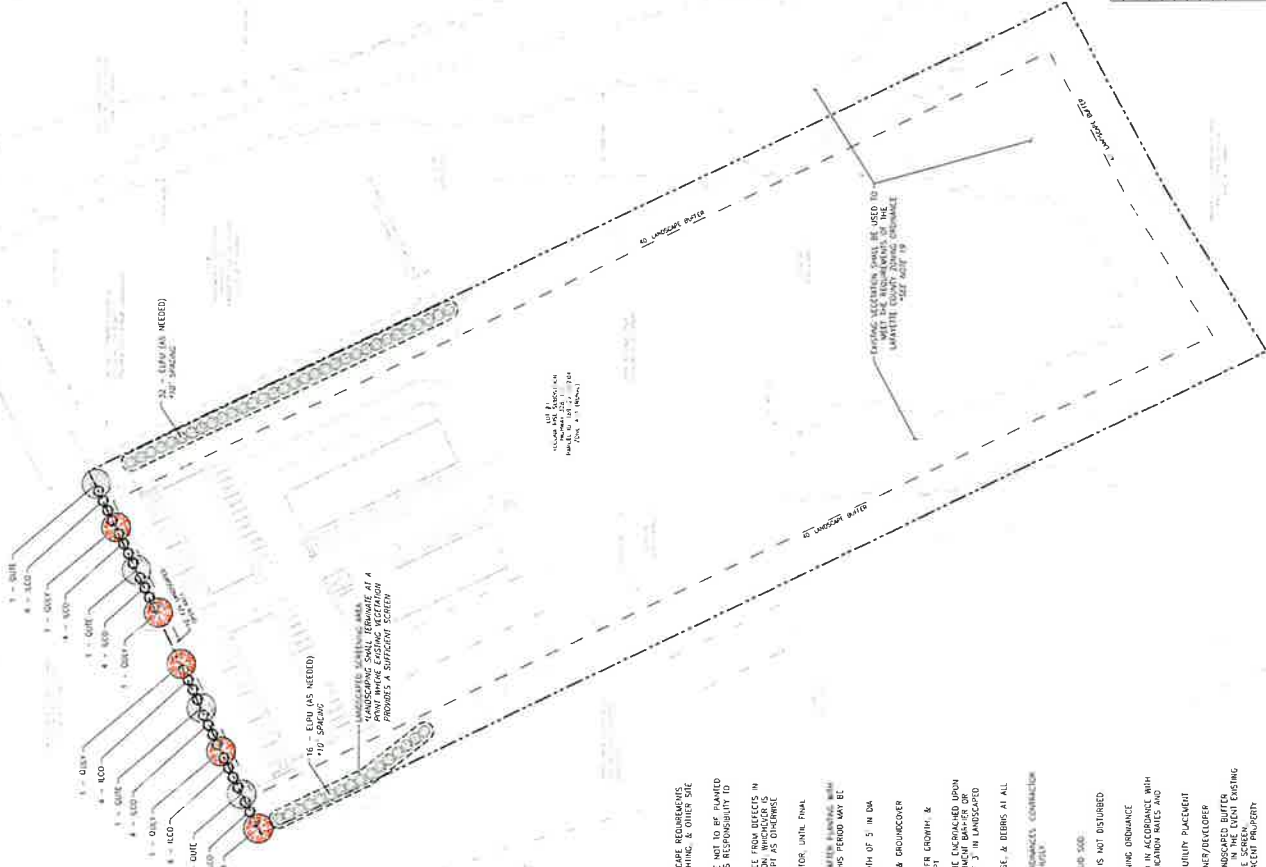
DIVISION OF ENGINEERING
LANDSCAPING PLAN
LAFAYETTE COUNTY, MS

SURVEY	WILLIAMS INC.	DATE	9/20/2022	PROJECT NO.	1000-157
DESIGN BY	J. CRAMER, INC., P.E.	DATE	7/15/2026	BOOK	
DRAWN BY	J. CRAMER, INC., P.E.	DATE	7/15/2026	SCALE	1" = 50'

OWNER: HIGHWAY 328, LLC
ENGINEER: CONWAY & ASSOCIATES, LLC

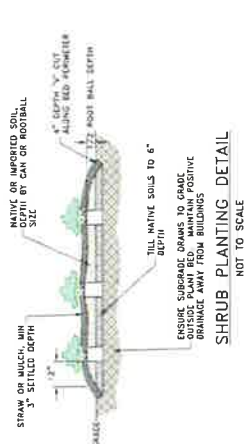
ENGINEER CONSULTING & ASSOCIATES, INC.

Page 10 of 15



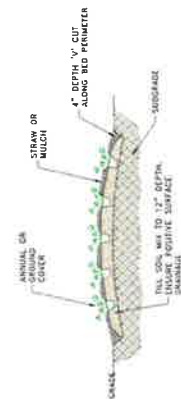
UNSCAPING PLAIN WOLFS

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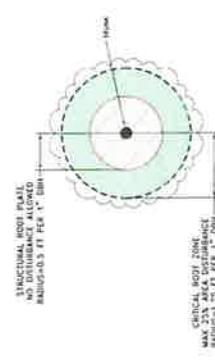
SHRUB PLANTING DETAIL

NOT TO SCALE

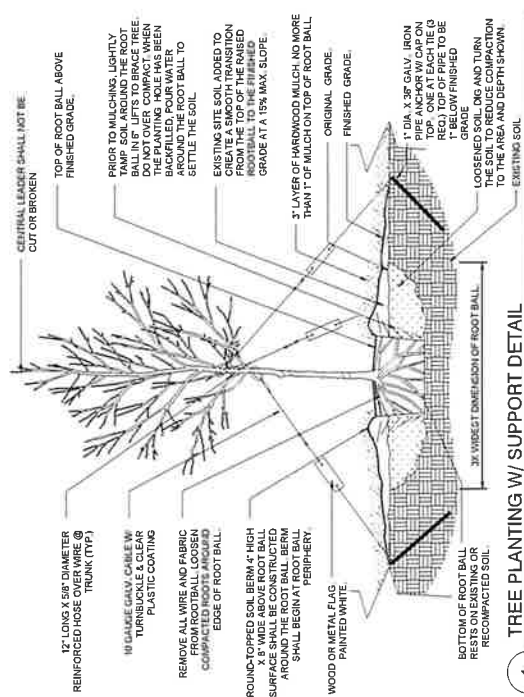


GROUND COVER PLANTING DETAIL

NOT TO SCALE



TREE PROTECTION ROOT ZONE DETAIL



TREE PLANTING W/ SUPPORT DETAIL

1

DIVISION OF ENGINEERING		LANDSCAPE DETAILS	
LAFAYETTE COUNTY, MS		LAFAYETTE COUNTY, MS	
DATE: 8/10/2022	PROJECT NO: 1020-140	DATE: 8/10/2022	PROJECT NO: 1020-140
DESIGNER: J. SPANBERG, P.E.	DESIGNER: J. SPANBERG, P.E.	DATE: 8/10/2022	DATE: 8/10/2022
SCALE: N.T.S.	SCALE: N.T.S.	SCALE: N.T.S.	SCALE: N.T.S.

ITEM NO.	REVISION	DESCRIPTION OF CHANGE	APPROVAL DATE

FILE SPACE SHEET 1-31

LOT #1 OF YOCONA RISE SUBDIVISION

OWNER: HIGHWAY 128, LLC

ENGINEER: SPANBERG & ASSOCIATES, LLC

15. Public Hearing on the Slate request for a conditional use to develop a Commercial Low Density (C-1) use (hair salon/rental) in a Rural (A-1) District on Lafayette County parcel 182-10-048. (Tristan Riddell)
16. Consider the Planning Commission recommendation to approve the Slate conditional use request to develop a Commercial Low Density (C-1) use (hair salon/rental) in a Rural (A-1) District on Lafayette County parcel 182-10-048. (Tristan Riddell)



Lafayette County Development Services
Planning, Zoning & Building Inspection

To: Lafayette County Board of Supervisors
From: Tristan Riddell, Planner
Meeting Date: August 17, 2026
Case: 26-109

Applicant: April Grant Slate
Request: Conditional Use – Commercial Use (C-2)

Location: 276 CR 403
Parcel Number(s): 182-10-048
PPIN: 10239

Existing Zoning District: Rural (A-1)
Adjacent Zoning Districts: All - Rural (A-1)

Background

April Grant Slate requests a conditional use permit to construct a commercial structure for use as a hair salon and rental unit. The requested conditional use is for an approximate 1.0 acre parcel, which will be recorded via deed from existing parcel 182-10-048 and a portion of 185-15-002.

The proposed use, hair salon, is a permitted use in the Commercial Medium Density District (C-2).

Conditional Use Permit Requirements - Article XXI, Section 2105

Conditional Use Permits shall only be granted if adequate provision and arrangement has been made concerning the following:

A. Ingress and egress to property and proposed structures thereon with particular reference to vehicular and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.

The property will have a new driveway off CR 403. Installation of the driveway will be coordinated through the Lafayette County Road Department.

B. Off-street parking and loading areas.

Off-street parking requirements will comply with Article XIX of the Lafayette County Zoning Ordinance.

C. Refuse and service areas.

The property will be served by the Lafayette County Solid Waste Department.

D. Utilities, with reference to locations, availability, and compatibility.

The structure is proposed to be served by an on-site individual septic system and the East Oxford Water Association.

E. Screening and buffering with reference to type, dimensions, and character.

For a C-2 use abutting an A-1 district a minimum 30' buffer and a 6' screen are required. The site plan indicates adequate space to meet buffer requirements.

F. Required yards and other open space.

The developer's conceptual site plan meets all dimensional requirements for the C-2 district.

G. General compatibility with adjacent properties and other property in the district.

The character of the neighborhood is rural, consisting primarily of large lot single family residential development. The proposed structure would fit in with the character of the neighborhood. Furthermore, the limited number of additional daily trips anticipated with the proposed use is generally compatible with the neighborhood and district.

H. Any other provisions deemed applicable by the Board of Supervisors.

Public Notice/Public Comment

Conditional use requests shall be heard at a properly notified public hearing (Article XXI, Section 2105.03, LCZO). Notice of this public hearing was posted on the subject property and printed in the Northeast Mississippi Daily Journal.

Adjacent landowners were properly notified by certified mail in advance of the Planning Commission meeting. To date, Planning Staff has not received any written public comment.

There was no opposition to the request presented during the Planning Commission public hearing.

Planning Commission Recommendation

The Planning Commission voted unanimously (4-0) to recommend approval of the conditional use request.

\$150.00

REQUEST FOR CONDITIONAL USE (SPECIAL EXCEPTION)

APPLICATION

Name of Applicant: April Grant Slate
Property Address: 276 CR 403 Oxford, MS 38655
Phone Number: (662) 418-3000 Email Address: amgrantjs@yahoo.com
Current Zoning District: A-1

(Please circle YES or NO)

DOES THE PROPERTY HAVE RESTRICTIVE COVENANTS? YES NO

(If YES, please attach a copy of restrictive covenants)

HAS THERE BEEN A PREVIOUS REQUEST FOR ANY ZONING ACTIONS AT THIS PROPERTY BEFORE?
YES NO (If YES, please attach a copy of all decisions made by the Planning Commission and Board of Supervisors)

Requirements of Applicant:

1. Letter stating reason for conditional use
2. Copy of the written legal description
3. Site plan of property

Requirements for Granting a Conditional Use Permit: (Section 2405.01- Zoning Ordinance)

A. Ingress and egress to property and proposed structures thereon with particular reference to vehicular and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe. B. Off-street parking and loading areas. C. Refuse and service areas. D. Utilities, with reference to locations, availability, and compatibility. E. Screening and buffering with reference to type, dimensions, and character. F. Required yards and other open space. G. General compatibility with adjacent properties and other property in the district. H. Any other provisions deemed applicable by the Board of Supervisors.

Applicant shall be present at the Planning Commission meeting. Documents shall be submitted thirty (30) days prior to the Planning Commission meeting. **Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.**

By signing this application, it is understood that permission is given to the Zoning Administrator to have a sign erected on subject property, given notice to the public that said property is being considered for conditional use.

April Grant Slate
Signature

5/9/2020
Date

April Slate

10 CR 457 Oxford, MS 38655

662-418-3000

amgrantjs@yahoo.com

7/20/2026

Dear Planning Commission Members,

Please accept this letter as a review for the site plan approval for the Blue Birdie's Salon and Stay Project.

The subject property is located on the south side of the adjoining property located at 276 Cr 403 Oxford, MS. Attached is a picture of the plat of land that has been shaded in red. The front of future project will be located on the property approximately 70 ft from the road and 90 ft from the left side of the property line. The structure will be 24ft wide, 30 ft deep, and it will have a 10ft porch that goes along the left front and side of structure. There is a picture included in your packet of the structure and the interior floor plan. It will have basement added to building that will look as pictured on lay out in packet. The ground level structure will be used as a weekend short time rental, and the basement will be used as a one station hair and nail salon that I will work out of. Both levels will have adequate parking, 9ft ceilings and the basement salon will follow all the American Disabilities Act guidelines with parking, handicap doorways, arm rails, and etc. There should be no change in the traffic traveling on Cr 403, and the structure will blend in with other houses in the area.

Thank you for taking the time to review and consider this project. I am happy to make any necessary adjustments based on the Boards recommendations. Please feel free to contact me on my cell phone or by email if you require any additional information.

Sincerely,



April Slate

Blue Birdie's Salon and Stay

45
24 ACc

48
6 ACc

49
2.4 ACc

50
1.1 ACc

15

1
3.6 ACc

2
6 AC

5
8 AC

4
2.8 AC

3
2 AC

7
20 ACc

6
20 ACc

SS

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12
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13
2 AC
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14
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7
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CR 403

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Lafayette County MS



5/12/2026, 4:04:12 PM

Roads and Railroads

2

LandHook

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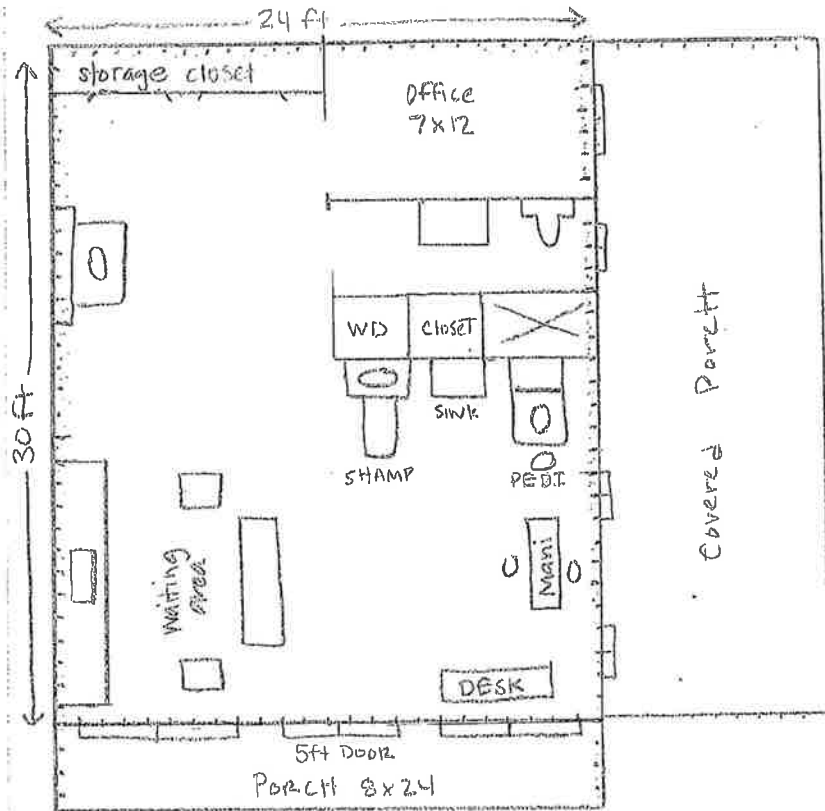
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Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the community, Esri, HERE, Garmin, GeoTechnologies, Inc., USGS, EPA,

CR 403

Salon Basement

DRIVEWAY



Parking

17. Public Hearing on the question of approving the Fat Possum Records dimensional variance request from Section 404 – Buffer Yards/Screening Standards of the Lafayette County Zoning Ordinance on Lafayette County parcels 132X-04-007.00, 132X-04-007.01 and 132X-04-007.02. (Tristan Riddell)
18. Consider the Planning Commission recommendation to approve the Fat Possum Records dimensional variance request from Section 404 – Buffer Yards/Screening Standards of the Lafayette County Zoning Ordinance on Lafayette County parcels 132X-04-007.00, 132X-04-007.01 and 132X-04-007.02. (Tristan Riddell)



Lafayette County Development Services
Planning, Zoning & Building Inspection

To: Lafayette County Board of Supervisors
From: Tristan Riddell, Planner
Meeting Date: August 17, 2026
Case: 26-106

Applicant: Fat Possum Records
Request: Dimensional Variance - Building and Buffer Yard Setback

Location: 491 CR 101
Parcel Number(s): 132X-04-007.00, 132X-04-007.01 and 132X-04-007.02.
PPIN: 15952, 36518, 36518

Existing Zoning District: Light Industrial (I-1)
Adjacent Zoning Districts: Rural (A-1) and Light Industrial (I-1)

Background

Fat Possum Records requests a dimensional variance from buffer yard and screening standards of the Lafayette County Zoning Ordinance (Article IV Section 404). Fat Possum Records has an operation including a warehouse located on property designated Light Industrial (I-1). The property adjoins property zoned Rural (A-1) on the rear and northern lot lines. Section 404.04 requires a minimum buffer yard distance of 40 feet from adjoining properties with a zoning designation other than Heavy Industrial (I-2). The proponent requests a dimensional variance to limit this buffer to 30 feet on both the rear and north side lot line. Existing natural mature trees will be retained a disturbance will not extend beyond that necessary to install the building foundation.

Dimensional Variance Requirements - Article XXI, Section 2104

Dimensional variances variance shall not be granted unless the applicant demonstrates:

- A. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings, in the same district.
- B. That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.
- C. That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures, or buildings in the same zoning district.

The reason for the dimensional variance requests stems from the need to expand the existing warehouse on the property. The existing warehouse currently sits approximately 30 feet from the rear lot line. The existing structure was constructed and in use on the property prior to the

establishment of the Lafayette County Zoning Ordinance. The warehouse is deemed a nonconforming use. The proponent is requesting to expand the existing warehouse north by approximately 125 feet. The result of the expansion will be a continuation of the existing nonconforming 30-foot buffer along the rear lot line and a 30-foot buffer along the northern side lot line where a 40-foot buffer is required.

The buffer yard setbacks are designed to limit proximity of incompatible uses. This is a unique situation in that the north property line is adjacent to the stem of a flag lot, which only contains a driveway. When you take into account the width of the flag lot stem and the proposed 30-foot on-site buffer setback the intent of the buffer to adjoining uses would be exceeded.

The adjacent landowner that is impacted by the buffer yard/screening standards at both the rear and side (stem of flag) lot lines has submitted a letter in support of the requested dimensional variance.

As noted above, the expansion of the existing structure is not in itself unique as the Zoning Ordinance contemplates how to regulate nonconforming uses. However, the fact that the adjacent landowner has submitted a letter of support regarding the proposed dimensional variance and the presence of the flag lot on the adjoining side lot line warrants support of the dimensional variance request.

Public Notice/Public Comment

Dimensional variance shall be heard at a properly notified public hearing (Article XXI, Section 2104.03, LCZO). Notice of this public hearing was posted on the subject property and printed in the Northeast Mississippi Daily Journal.

Adjacent landowners were properly notified by certified mail in advance of the Planning Commission meeting. To date, Planning Staff has not received any written public comment.

There was no opposition to the request presented during the Planning Commission public hearing.

Planning Commission Recommendation

The Planning Commission voted unanimously (5-0) to recommend approval of the dimensional variance.

Geotechnical Engineering
Hydraulic Engineering
Civil Engineering
Surveying

276 County Road 101
Oxford, MS 38655
oxford@pecorpms.com



Land Planning/Subdivisions
Road and Bridge Design
Utility System Design
Materials Testing

Phone 662-234-8539
Fax 662-234-8639
www.pecorpms.com

June 16, 2026

Mr. Joel Hollowell
Director of Development Services
Lafayette County Mississippi
300 N. Lamar Blvd.
Oxford, MS 38655

RE: Dimensional Variance Application
Fat Possum Records – Warehouse Addition
489 CR 101, Oxford, MS 38655

Dear Joel,

On behalf of our client, Fat Possum Records, we are making application for a dimensional variance to Section 404.04 of the Lafayette County Zoning Ordinance. Specifically, we are requesting permission to provide a 30 ft wide natural screened buffer between the subject property and the neighboring property to the west in lieu of the 40 feet stated in the Zoning Ordinance. In addition, this request is to allow a buffer that varies from ~12 ft to ~30 ft along the north side of the lot adjacent to the neighboring driveway.

The applicant intends to construct an addition to the existing warehouse on the property by connecting to the existing warehouse and expanding north by approximately 125 feet. Please see Exhibit 1 provided with this application.

To align with the existing structure, the addition will encroach into the required 40 ft buffer resulting in a 30 ft wide buffer. This 30 ft buffer will not be disturbed beyond the work needed to install the building foundation and the natural screen buffer of mature trees will remain in its current state. Please see Exhibit 1 provided with this application.

Coordinating the expansion with the existing structure creates a unique condition necessitating this variance request. Complying with the ordinance in this circumstance would create unnecessary hardship for the applicant due to the potential offset in the two structures that would significantly impact the functionality of both structures.

In addition, there is a significant grade difference between the existing structures that front on County Road 101 and granting of this variance would help to address this elevation change resulting in more functional space for deliveries and loading and, critically, creating space for delivery trucks to turn around on the property before exiting onto CR101.

The applicant respectfully requests approval of this variance request by the Laf. Co. Planning Commission and ultimately the Board of Supervisors.

Please do not hesitate to contact me if you have any questions or if you would like to discuss further.

Sincerely,


Paul Koshenina, P.E.
Principal Engineer
Director of Civil Engineering

REQUEST FOR DIMENSIONAL VARIANCE

APPLICATION

Name of Applicant: Fat Possum Records

Property Address: 489 CR 101, Oxford, MS

Phone Number: 662-234-2828 Email Address: patrick@fatpossum.com

Current Zoning District: I-1

(Please circle YES or NO)

DOES THE PROPERTY HAVE RESTRICTIVE COVENANTS? YES **NO**

(If YES, please attach a copy of restrictive covenants)

HAS THERE BEEN A PREVIOUS REQUEST FOR ANY ZONING ACTIONS AT THIS PROPERTY BEFORE?
YES **NO** (If YES, please attach a copy of all decisions made by the Planning Commission and Board of Supervisors)

Requirements of Applicant:

1. Letter stating reason for requested dimensional variance
2. Copy of the written legal description
3. Site plan of property
4. Complete set of plans

Requirements for Granting Dimensional Variance: (Section 2404.01- Zoning Ordinance)

- A. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings, in the same district
- B. That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.
- C. That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures, or buildings in the same zoning district.

Applicant shall be present at the Planning Commission meeting. Documents shall be submitted thirty (30) days prior to the Planning Commission meeting. **Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.**

By signing this application, it is understood that permission is given to the Zoning Administrator to have a sign erected on subject property, given notice to the public that said property is being considered for dimensional variance.

Signature

June 15, 2026

Date



REVISIONS:	
No.	DATE
1	08/14/2024
2	08/14/2024
3	08/14/2024
4	08/14/2024
5	08/14/2024
6	08/14/2024
7	08/14/2024
8	08/14/2024
9	08/14/2024
10	08/14/2024

PROPOSED LAYOUT
FOR
MATTHEW JOHNSON CR 101
OXFORD, LAFAYETTE COUNTY, MISSISSIPPI

Exhibit 1	
DATE	08/14/2024
BY	PEC
CHECKED BY	PEC
APPROVED BY	PEC
SCALE	AS SHOWN



SITE PLAN
SCALE 1" = 20'

Neighbor Support Letter

Re: Support for Setback Variance Request – 489 CR 101

To Whom It May Concern,

I am the owner/occupant of the property located at 493B CR 101 and 493A CR 101 which is adjacent to the existing warehouse at 489 CR 101.

I understand that the owner of is requesting a setback variance in order to construct an addition to their existing warehouse building. The original building was constructed under a 30-foot rear setback requirement, and the current zoning now requires 40 feet. The proposed addition would align with the existing building wall to maintain a consistent, uniform structure.

I have attached the proposed water drainage plan drafted by Patrick Addison. I have reviewed the general scope of the proposed addition and the requested variance if the water drainage plan is followed.

I have no objection to the variance and support allowing the addition to be built in line with the existing structure.

Signature: 

Printed Name: Tuesday Arizaga

Address: 493B/A CR 101 Oxford MS 38655

Date: 5-20-2020

19. Public Hearing on the JJM Holdings, LLC request to rezone a portion of property from Residential Medium Density (R-2) to Commercial Medium Density (C-2) on Lafayette County parcel 136W-13-184.01. (Tristan Riddell)
20. Consider the Planning Commission recommendation to approve the JJM Holdings, LLC rezone request on a portion of property from Residential Medium Density (R-2) to Commercial Medium Density (C-2) on Lafayette County parcel 136W-13-184.01. (Tristan Riddell)
21. Public Hearing on the JJM Holdings, LLC request to establish a Planned Unit Development on Lafayette County parcel 136W-13-184.01. (Tristan Riddell)
22. Consider the Planning Commission recommendation to approve the JJM Holdings, LLC request to establish a Planned Unit Development on Lafayette County parcel 136W-13-184.01. (Tristan Riddell)
23. Consider the Planning Commission recommendation to approve the final site plan for Pine Crest Cove, Phase II. (Tristan Riddell)
24. Consider executive session.
25. Recess



Lafayette County Development Services
Planning, Zoning & Building Inspection

To: Lafayette County Board of Supervisors
From: Tristan Riddell, Planner
Meeting Date: August 17, 2026
Case: 26-214, 26-215, 26-216

Applicant: JJM Holdings, LLC

Request:

1. Rezone – R-1 to C-2
2. Planned Unit Development - Overlay
3. Final Site Plan

Location: Near the southwest corner of the Hwy 30 and CR 217 intersection

Parcel Number(s): 189-29-002.04

PPIN: 36372

Existing Zoning District: Rural (A-1)

Adjacent Zoning Districts: All – Rural (A-1)

Background

JJM Holdings, LLC requests the rezoning of a 3.36 acre portion of an approximately 51.19 acre parcel currently zoned Residential Medium Density (R-2) to Commercial Medium Density (C-2). The requested zone change precedes a request for approval of a Planned Unit Development that will include a commercial development and approximately 162 total housing units.

1. Rezone

According to Section 2106.03 of the Lafayette County Zoning Ordinance, in order to obtain a rezone, the applicant must prove that the character of the neighborhood has changed to such an extent as to justify reclassification, and there is a public need for the rezoning.

The proponent states that since the adoption of the Lafayette County Zoning Ordinance, a four-way traffic signal was installed at the intersection of MS Hwy 30 and CR 215 and CR 217. The installation of the traffic signal lends itself to further support commercial use at the intersection which was initially zoned as a cluster of C-2. As noted above, a majority of the parcels zoned C-2 at this intersection are currently used for residential purposes. The proposed rezone would cluster additional commercial properties at a location deemed appropriate for commercial use.

Furthermore, since the adoption of the Official Lafayette County Zoning Map, over 200 residential lots have been approved and developed just east of this identified commercial hub. The increase in single family residential development in the general area lends to the public need for the requested zone change.

Section 2106.04 states that no amendment to the Official Zoning Map shall be approved by the Board of Supervisors unless the proposed rezoning is consistent with all four elements of the adopted Comprehensive Plan.

Planning Staff finds the proposed rezoning to be consistent with applicable goals and objectives of the Comprehensive Plan. Specifically, Land Use Development: Goal 3, Objectives 1 and 2; Goal 4, Objective 3; and Goal 5, Objectives 5 and 7.

Based on the property's adjacency to the existing C-2 cluster, the fact that the bulk of the designated C-2 properties are used for residential purposes, the proposed Planned Use Development, and the general consistency with the applicable goals and objectives of the Lafayette County Comprehensive Plan, Planning Staff supports the rezone request.

Public Notice/Public Comments

Rezone requests shall be heard at a properly notified public hearing (Article XXI, Section 2106.05, LCZO). Notice of this public hearing was posted on the subject property and printed in the Northeast Mississippi Daily Journal.

Adjacent landowners were properly notified by certified mail in advance of the Planning Commission meeting and, again, in advance of the Board of Supervisors meeting.

To date, Planning Staff has not received any written public comment. There was no opposition to the request presented during the Planning Commission public hearing.

Planning Commission Recommendation

The Planning Commission voted unanimously (5-0) to recommend approval of the rezone request.

2. Planned Unit Development (PUD) Overlay District

The Lafayette County Zoning Ordinance allows for the establishment of a Planned Unit Development (PUD) overlay district. The PUD provides for a broader latitude of site design, including the ability to offer mixed use and set aside common open space. Portions of a PUD may be reserved for commercial use, but the underlying land must be reserved with the appropriate commercial zoning. The proponent has requested to rezone the portion of the property C-2.

Another advantage of authorizing development through a PUD is the requirement that the developer provide for common open space. Common open space is required in accordance with Section 1207 Lafayette County Zoning Ordinance.

The proposed PUD, to be known as Pine Crest Cove, will include up to 162 housing units and an approximately 3.34-acre neighborhood-scale commercial site. The commercial site is anticipated to house small-scale services and convenience retail.

The proposed PUD will be fully developed in phases. The PUD is incorporating a previous residential development at the southern end of the property, which will be considered Phase 1.

Public Notice/Public Comments

Notice of this public hearing was posted on the subject property and printed in the Northeast Mississippi Daily Journal.

Adjacent landowners were properly notified by certified mail in advance of the Planning Commission meeting and, again, in advance of the Board of Supervisors meeting.

To date, Planning Staff has not received any written public comment. There was no opposition to the request presented during the Planning Commission public hearing

Planning Commission Recommendation

The Planning Commission voted unanimously (5-0) to recommended approval of the designation of a Planned Unit Development.

3. Pine Crest Cove – Final Site Plan

Pine Crest Cove Phase 2 is a proposed commercial and residential Planned Unit Development. The Pine Crest Cove Phase 2 Site Plan conforms with the requirements of the Lafayette County Land Development Standards and Regulations (see Article II and Appendix 2).

Planning Staff recommends approval of the Site Plan.

Planning Commission Recommendation

The Planning Commission voted unanimously (5-0) to recommended approval of the final site plan.

PINECREST COVE – PHASE 2

REQUEST FOR ZONING CHANGE



April 15, 2025

Joel Hollowell
Director of Development Services
300 North Lamar Boulevard
Oxford, MS 38655

RE: Zoning Change Request for PPIN 36372

Dear Mr. Hollowell,

I would like to request a Zoning Change on behalf of the owner of PPIN 36372 on Campground Road (CR 217). This property is approximately 51.19AC with only tract 1 asked to be rezoned (3.34 AC); and is currently zoned R-2. The owner is seeking a zoning change from A-1 Rural to C-2 Commercial. Section 2106.3.A in the Lafayette County Zoning Ordinance states “that the character of the neighborhood has changed to such an extent as to justify reclassification, and that there is a public need for the rezoning.”

The applicant is seeking to construct a commercial development on the property. The owner feels that this location is a great location for C-2 zoning due to its proximity to the City of Oxford city limits) and existing utilities that already serve the property. The Lafayette County Future Land Use Map, shows the future zoning of the property to be R-2 Residential.

Change in Character of the Area

Since the adoption of the Lafayette County Zoning Map in 2017, the surrounding area has experienced substantial and transformative infrastructure improvements that have significantly altered the character and development potential of this corridor. Most notably, the installation of a signalized intersection at MS Highway 30 and Campground Road have created a major transportation node immediately adjacent to the subject property.

These improvements have:

- Increased accessibility and traffic capacity along the corridor
- Positioned the site as a key gateway into the eastern portion of Lafayette County
- Transitioned the area from predominantly rural in nature to a corridor with strong commercial development potential

The subject property now functions more as part of an emerging commercial corridor rather than a traditional rural landscape. The presence of major roadway infrastructure and signalization supports higher-intensity land uses and is inconsistent with the long-term continuation of A-1 Rural zoning.

Public Need for Rezoning

There is a demonstrated public need for additional commercial zoning within Lafayette County, particularly near the Highway 30 corridor. This lack of appropriately zoned property limits opportunities for commercial growth, economic development, and the expansion of services to meet the needs of a growing population.

Rezoning this property to C-2 would:

- Provide a designated location for higher-intensity commercial uses within the County
- Support continued economic growth in the Oxford area
- Reduce pressure for piecemeal commercial encroachment into residential or rural areas
- Take advantage of existing infrastructure investments, including roadway capacity and available utilities

The subject property is uniquely suited to accommodate such uses due to its size, frontage near a major highway, and access to existing utility services.

Consistency with Future Land Use Considerations

The Lafayette County Future Land Use Map designates the property as R-2.

Commercial zoning at this location would:

- Serve as a transitional land use between more intense roadway infrastructure and surrounding development
- Provide nearby services that would support future residential growth in the area
- Align with typical planning principles that place commercial uses at major intersections and along arterial roadways

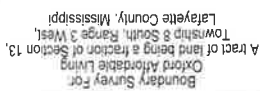
Conclusion

Based on the substantial change in area character since 2017 and the clear public need for C-2 zoned property within Lafayette County, the requested rezoning from R-2 to C-2 Commercial is both justified and appropriate. The subject property's location, access, and surrounding infrastructure make it an ideal candidate for this classification.

The applicant respectfully requests favorable consideration of this rezoning request.

Sincerely,

Joseph Moore, P.E.
Owner / Senior Engineer
JM Engineering and Design, LLC



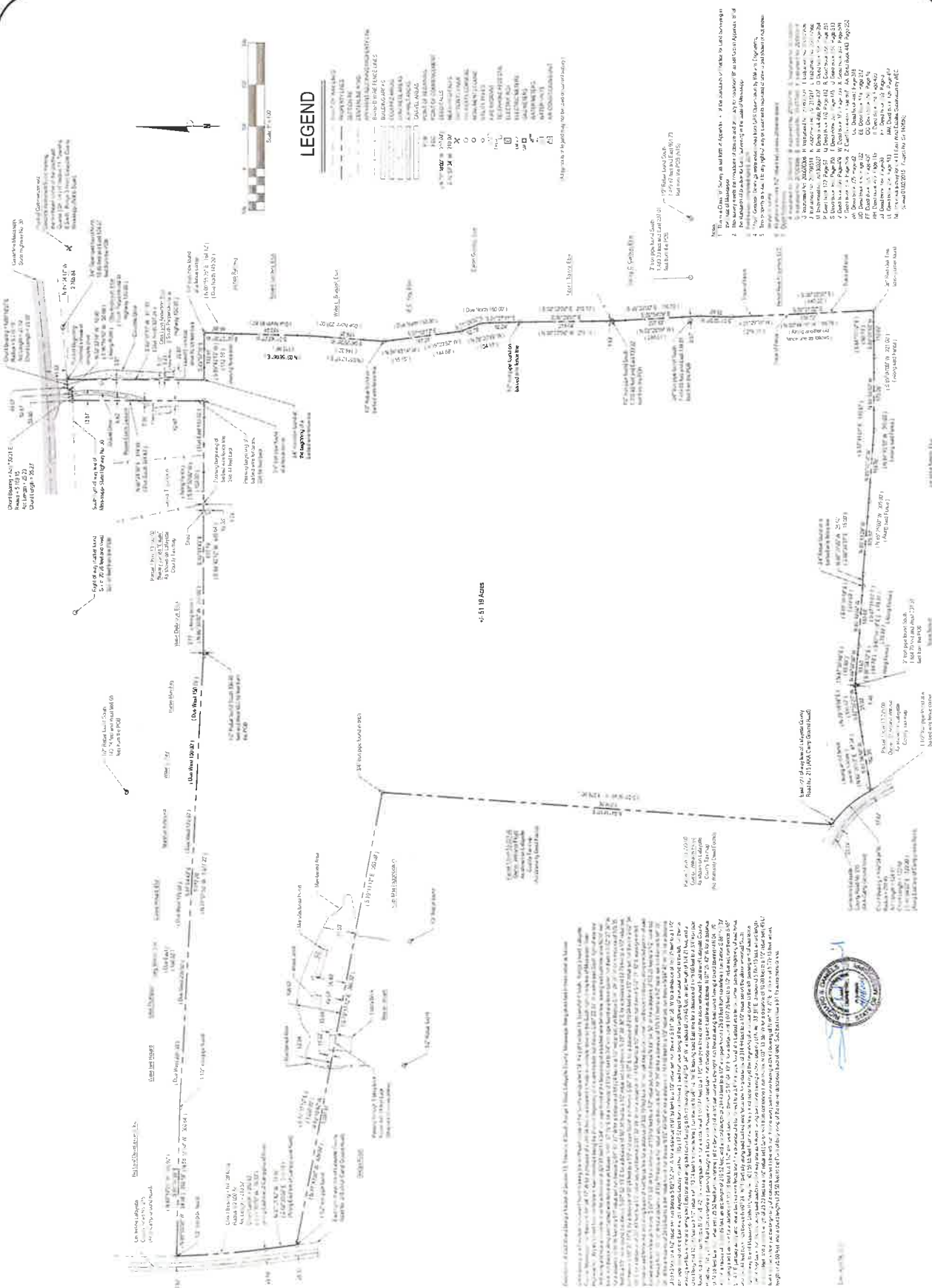
REVISION	DATE

Room	01101
Age	104.14.10.10
Height	104.14.10.10
Weight	104.14.10.10

Checked By: / Date:

Boundary Survey

1





JM ENGINEERING
AND DESIGN, LLC
OXFORD, MS
(662) 801-4883

PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFAYETTE COUNTY, MISSISSIPPI

SITE PLAN

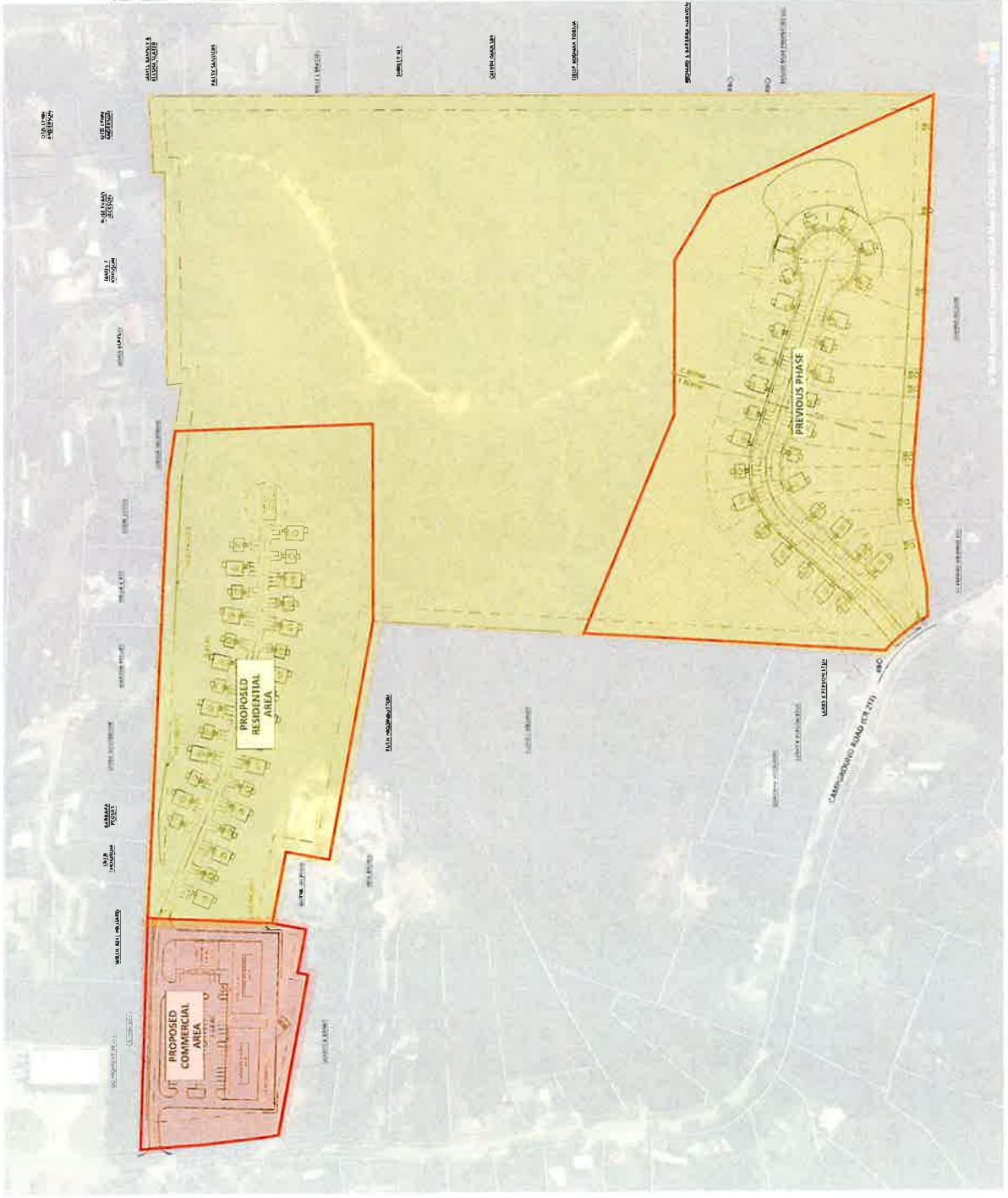
DRAWN BY	JRM
CHECKED BY	JRM
PROJECT NO.	XXXX
DATE	04/01/2025
SCALE	1" = 100'
REVISION	

C-100

SITE DATA TABLE

PROPERTY AREA 8.14 AC
ZONING: PUD
3.34 AC - COMMERCIAL
4.71 AC - RESIDENTIAL
SETBACKS
FRONT: 30'
SIDE: 10'
REAR: 10'
BUILDING INFORMATION
23,405 SF - COMMERCIAL BUILDINGS (91 PARKING)
15-1 BEDROOM UNITS
19-2 BEDROOM UNITS

The developer, JM Holdings, LLC, hereby grants Lafayette County, Mississippi, access to the private roads owned by JM Holdings, LLC, for the purpose of providing emergency services to the normal scope of business activities related to typical services provided by the county. JM Holdings, LLC, agrees to provide access to the county for emergency services, including but not limited to, fire, police, and other services. The county agrees to hold Lafayette County harmless for normal wear and tear and damage caused by Lafayette County employees engaged in providing county services.



PINECREST COVE

Planned Unit Development (PUD) Narrative

Lafayette County, Mississippi

Prepared By: JM Engineering and Design, LLC

Owner: Josh Matthews

Date: April 14, 2026

1. General Information

Pinecrest Cove is a master-planned residential community located on approximately 51.19 acres along Campground Road in Lafayette County, Mississippi. The development is designed as a cohesive expansion of an existing residential community and incorporates a limited, neighborhood-serving commercial component.

2. Purpose and Intent

The intent of Pinecrest Cove is to deliver a high-quality, thoughtfully integrated workforce housing community that builds upon the existing development pattern established on the site. The project incorporates approximately 30 existing residential units and expands the community with additional cottage-style homes that maintain architectural continuity and neighborhood cohesion.

The development emphasizes efficient land utilization, compatibility with surrounding land uses, and long-term flexibility through the Planned Unit Development framework. A carefully scaled 3.34-acre commercial component is included to provide convenient, low-impact services to residents and the surrounding area.

A future connection to Highway 30 is planned to enhance regional connectivity and support long-term infrastructure planning.

3. Land Use Plan

The total project area is approximately 51.19 acres, consisting of:

- 47.85 acres of residential development
- 3.34 acres of neighborhood-scale commercial use

The residential component will include approximately 210 total units, resulting in a density of approximately 4.5 units per acre. The commercial component is designed for small-scale service uses such as personal care and convenience retail.

The integration of uses creates a cohesive environment where residential living is supported by accessible neighborhood services without introducing regional-scale impacts.

4. Site Conditions and Location

The site is located along Campground Road with planned future access to Highway 30. The surrounding area consists of a mix of residential and undeveloped land typical of Lafayette County. The property includes existing development and is well-suited for continued residential expansion.

5. Zoning and Compatibility

The property is currently zoned R-2. The proposed PUD maintains a residential character while incorporating a limited commercial component designed to be compatible with surrounding uses. The development represents a logical and orderly continuation of existing land use patterns.

6. Development Standards

- Maximum Units: 210
- Density: ~4.5 units/acre
- Lot Size: ~7,500 SF
- Setbacks: Front 30', Side 10', Rear 10'
- Building Separation: 20'
- Height: Up to 2 stories

These standards provide a balance between efficient land use and neighborhood compatibility while allowing flexibility within the PUD framework.

7. Infrastructure

The development will be served by private streets with primary access from Campground Road and a future connection to Highway 30. Stormwater will be managed on a phase-by-phase basis with detention systems designed to meet regulatory requirements.

Water service will be provided by Campground Water Association. Wastewater will be handled through individual on-site treatment systems in compliance with Mississippi State Department of Health regulations.

8. Phasing Plan

The development may be constructed in multiple phases. Each phase will include required infrastructure, access, and stormwater management systems to function independently.

9. Traffic Statement

Traffic generated by the development is expected to be consistent with a medium-density residential community. The commercial component is neighborhood-serving and will not significantly impact traffic volumes. The future Highway 30 connection will further improve traffic distribution.

10. Exhibits

- Legal Description
- Vicinity Map
- Aerial Map
- Zoning Map
- Land Use Plan
- Elevations

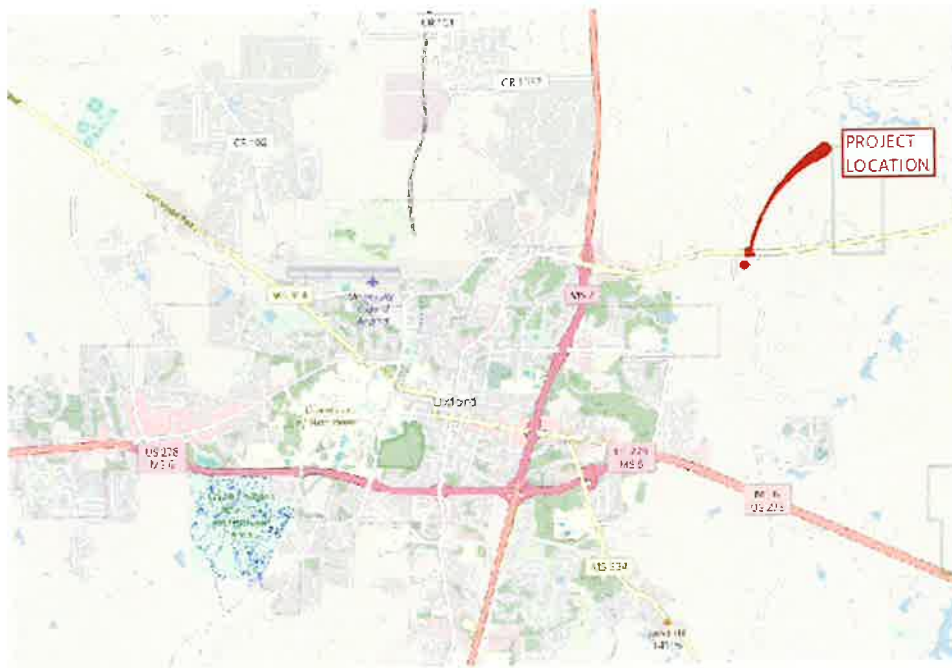
LEGAL DESCRIPTION:

Description: A tract of land being a fraction of Section 13, Township 8 South, Range 3 West, Lafayette County, Mississippi; being described in more detail as follows:

Commencing at a Concrete monument found marking the Northeast corner of the Southeast Quarter (SE 1/4) of Section 13, Township 8 South, Range 3 West, Lafayette County, Mississippi; run thence N 89° 04' 17" W for a distance of 2,766.84 feet to a chiseled x made in concrete drive on the South right-of-way line of Mississippi State Highway No. 30 (49.53 feet from centerline), said chiseled x being the Point of Beginning of this description; run thence S 00° 20' 31" W leaving said South right-of-way line and along and near a concrete drive for a distance of 327.81 feet to a 3/4" iron pipe found at the beginning of a barbed wire fence line, leaving said concrete drive 92.65 feet back; run thence along said barbed wire fence line as follows: S 89° 57' 16" E for a distance of 112.65 feet to 3/4" iron pipe found at a fence corner; run thence S 02° 27' 36" W for a distance of 66.86 feet to a 1/2" rebar set; run thence S 01° 43' 27" W for a distance of 183.24 feet to a 1/2" rebar set; run thence S 04° 29' 26" W for a distance of 179.35 feet to a 1/2" rebar found; run thence S 07° 03' 13" E for a distance of 187.31 feet to a 1/2" rebar set; run thence S 21° 39' 30" E for a distance of 52.79 feet to a 1/2" rebar set; run thence S 01° 27' 11" E for a distance of 92.24 feet to a 1/2" iron pipe found; run thence S 00° 29' 07" E for a distance of 219.04 feet to a 1/2" rebar set; run thence S 02° 54' 09" E for a distance of 207.83 feet to a 1/2" rebar set; run thence S 01° 32' 59" W for a distance of 78.88 feet to a 1/2" rebar set; run thence S 02° 21' 32" E leaving erected portion of said fence line and along traces of said fence line for a distance of 338.70 feet to a 36" red oak tree fence corner; run thence continuing along erected portion of said barbed wire fence line as follows: S 89° 01' 53" W for a distance of 110.62 feet to a 1/2" rebar set; run thence N 89° 54' 50" W for a distance of 175.26 feet to a 1/2" rebar set; run thence N 85° 55' 18" W for a distance of 169.76 feet to a 1/2" rebar set; run thence N 85° 19' 29" W for a distance of 175.17 feet to a 1/2" rebar set; run thence N 88° 29' 06" W for a distance of 28.69 feet to a 3/4" rebar found; run thence N 85° 49' 04" W for a distance of 143.68 feet to a 1/2" rebar set; run thence N 84° 47' 56" W for a distance of 93.63 feet to a 1/2" rebar set; run thence S 82° 32' 20" W for a distance of 91.92 feet to a 1/2" rebar set; run thence S 81° 06' 58" W for a distance of 162.35 feet to a 1 1/2" iron pipe found on the East line of Lafayette County Road No. 215 (17.62 feet from centerline), said iron pipe being at the beginning of a circular curve to the left; run thence leaving said fence line and along said East line and along said curve having a chord bearing of N 40° 54' 34" W, a radius of 255.45 feet, an arc length of 124.21 feet, and a chord length of 122.99 feet to a 1/2" rebar set (23.74 feet from centerline); run thence N 04° 18' 19" E leaving said East line for a distance of 1,078.00 feet to a 3/4" iron pipe found in a ditch; run thence N 79° 18' 42" W leaving said ditch for a distance of 1,097.47 feet to a 1 1/2" iron pipe found on the aforementioned East line of Lafayette County Road No. 215 (25.37 feet from centerline), passing through a 1 story brick house 490.24 feet back; run thence along said East line as follows: N 07° 25' 42" W for a distance of 74.98 feet to a 1/2" rebar set (25.50 feet from

centerline) at the beginning of a circular curve to the right; run thence along said curve having a chord bearing of N 04° 28' 40" W, a radius of 2,090.86 feet, an arc length of 210.52 feet, and a chord length of 210.43 feet to a 1/2" iron pipe found (25.83 feet from centerline); run thence S 88° 50' 39" E leaving said East line for a distance of 355.18 feet to a 1 1/2" iron pipe found; run thence S 87° 04' 49" E for a distance of 1,077.26 feet to a 1/2" rebar set; run thence S 89° 51' 43" E partially along and near a barbed wire fence line for a distance of 610.19 feet to a 3/4" iron pipe found at a barbed wire fence corner, passing beginning of said fence line 246.44 feet back; run thence N 00° 24' 36" E partially along said barbed wire fence line for a distance of 314.99 feet to a 1/2" rebar set on the aforementioned South right-of-way line of Mississippi State Highway No. 30 (59.85 feet from centerline), said rebar being at the beginning of a circular curve to the left, passing end of said fence 298.56 feet back; run thence along said South right-of-way line as follows: along said curve having a chord bearing of N 86° 33' 31" E, a radius of 5,789.15 feet, an arc length of 25.23 feet, and a chord length of 25.23 feet to a 1/2" rebar set (59.67 feet from centerline); run thence N 03° 33' 58" W for a distance of 10.00 feet to a 1/2" rebar set (49.67 feet from centerline) at the beginning of a circular curve to the left; run thence along said curve having a chord bearing of N 86° 18' 27" E, a radius of 5,779.15 feet, an arc length of 25.50 feet, and a chord length of 25.50 feet to the Point of Beginning of the herein described tract of land. Said tract contains 51.19 acres more or less.

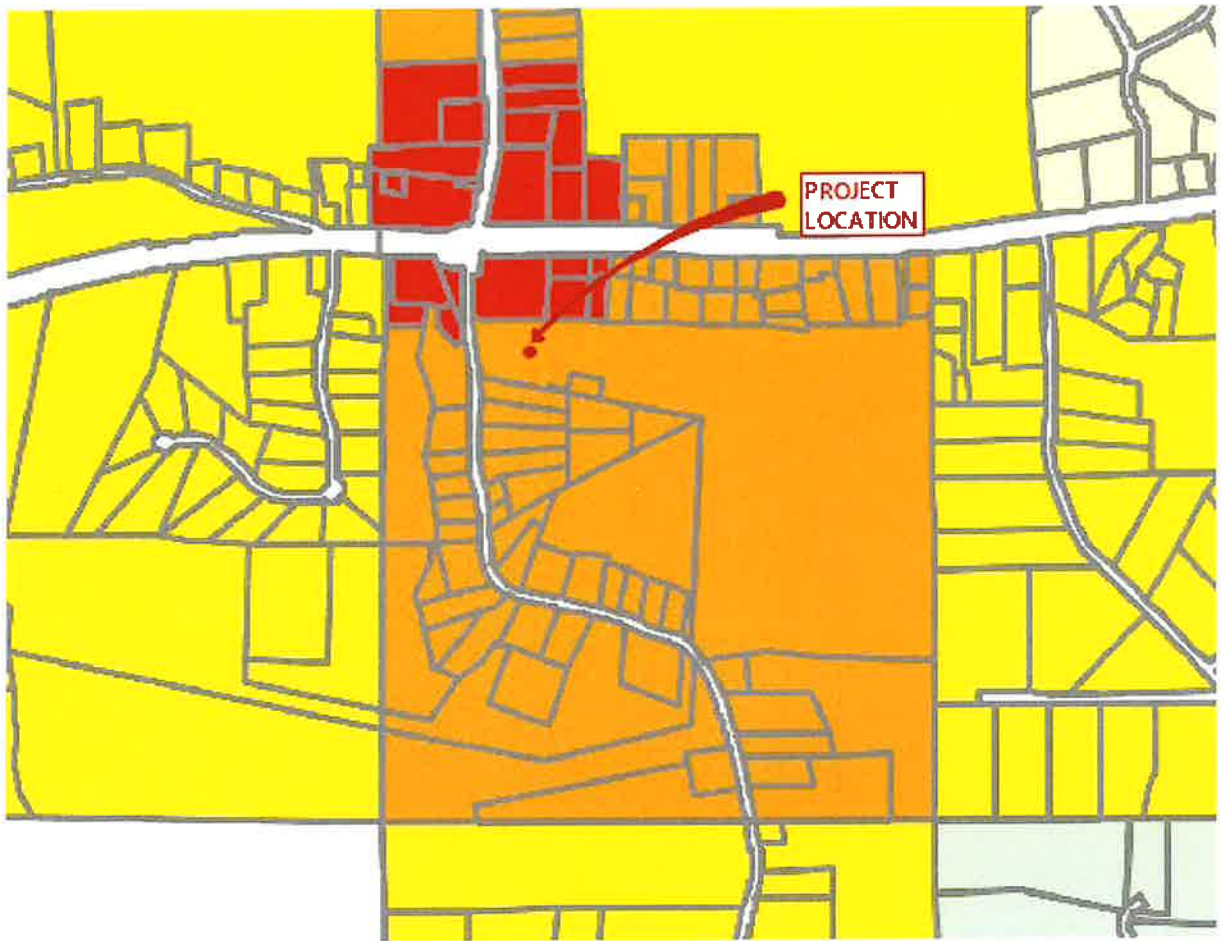
VICINITY MAP



AERIAL MAP



ZONING MAP



LAND USE PLAN



JM ENGINEERING
AND DESIGN, LLC
OXFORD, MS
(662) 801-8823

PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFAYETTE COUNTY, MISSISSIPPI

SITE PLAN

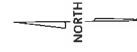
DRAWN BY	JRM
CHECKED BY	JRM
PROJECT NO.	XXXX
DATE	04/07/2026
SCALE	1" = 100'
REVISION	

C-100

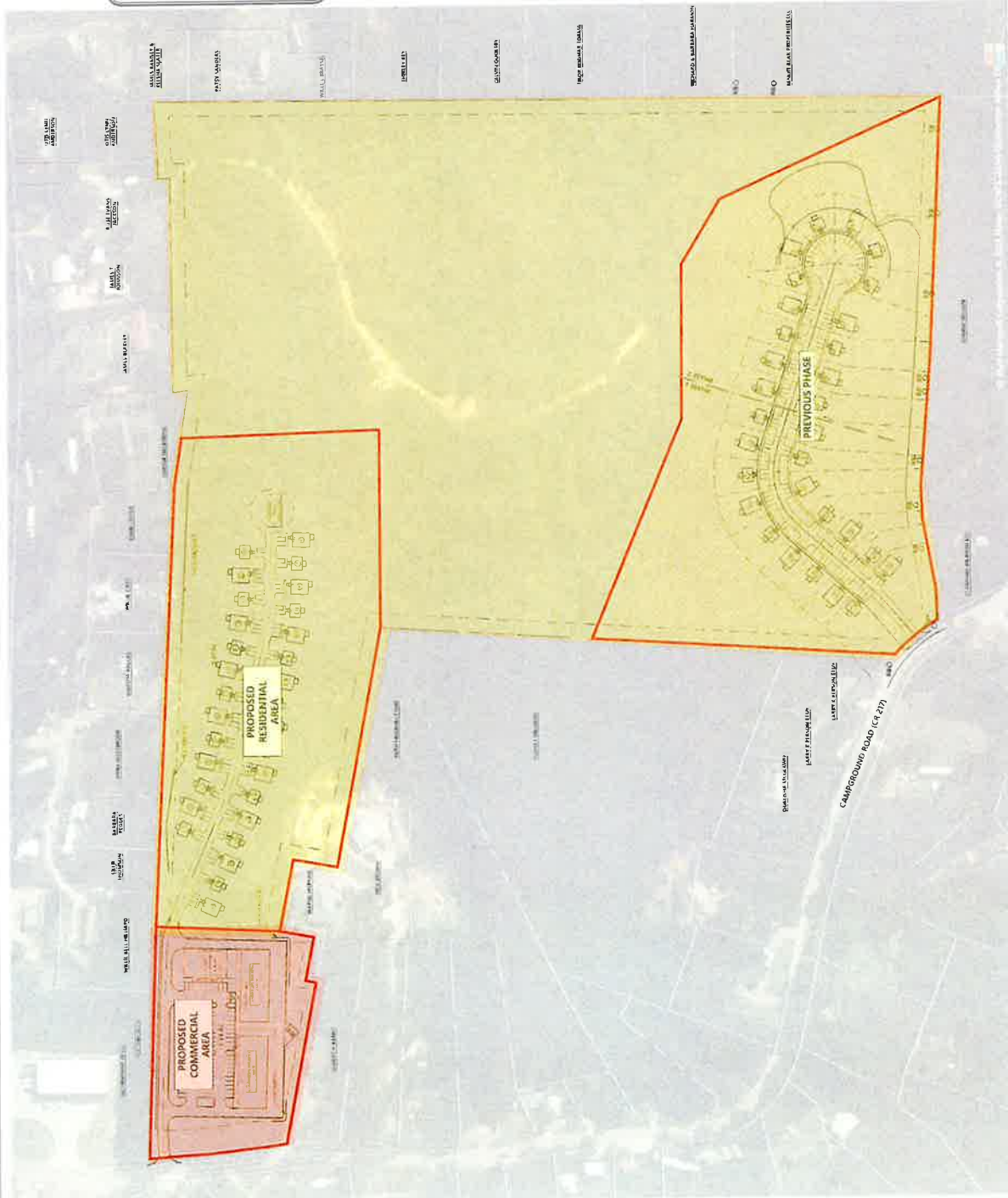
SITE DATA TABLE

PROPERTY AREA 8.14 AC
ZONING PUD
2.14 AC - COMMERCIAL
3.00 AC - RESIDENTIAL
SETBACKS:
FRONT: 30'
SIDE: 10'
REAR: 10'
BUILDING INFORMATION
23,400 SF - COMMERCIAL BUILDINGS (91 PARKING SPACES)
15 - 1 BEDROOM UNITS
15 - 2 BEDROOM UNITS

The applicant, JM Engineering, LLC, hereby certifies that the site plan is a true and accurate representation of the proposed development. The applicant warrants that the information provided is true and correct to the best of their knowledge and belief. The applicant warrants that the information provided is true and correct to the best of their knowledge and belief. The applicant warrants that the information provided is true and correct to the best of their knowledge and belief.



SCALE: 1" = 100'



ELEVATIONS

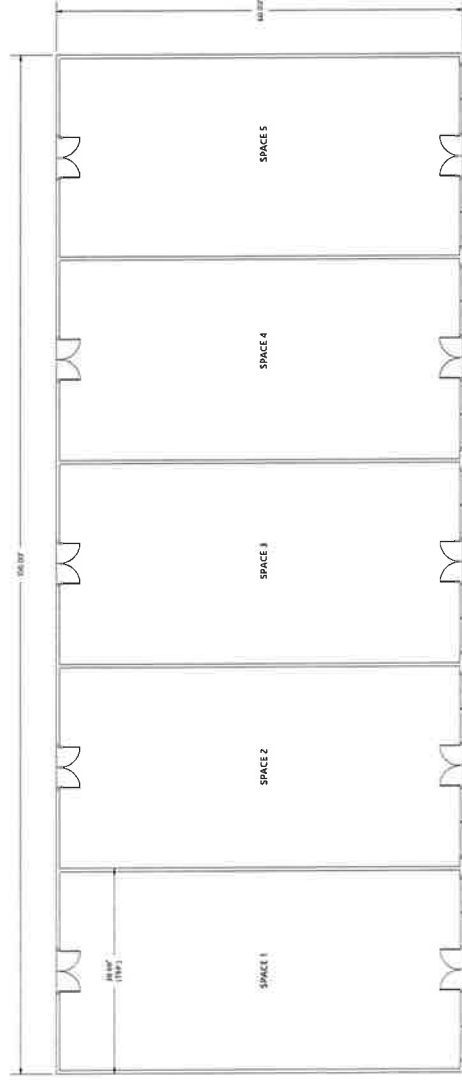
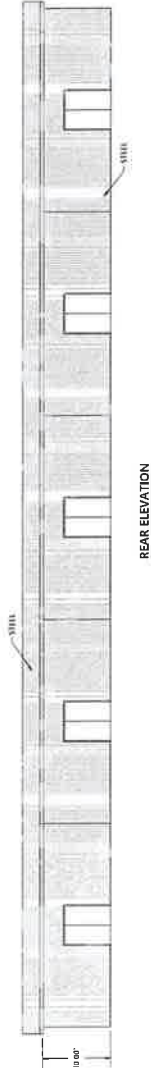
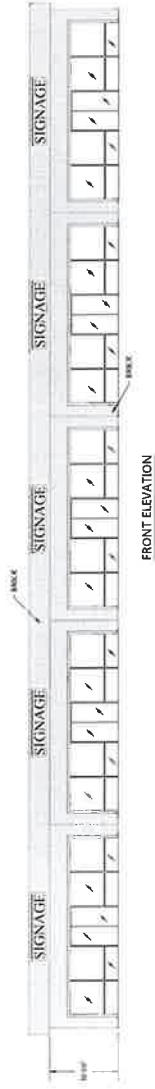
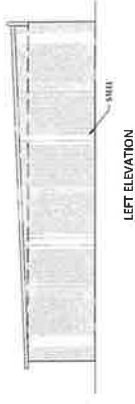
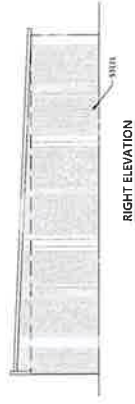


JM ENGINEERING
AND DESIGN, LLC
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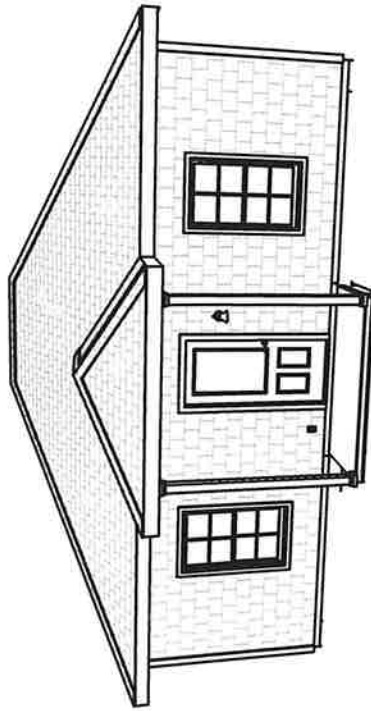
PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFAYETTE COUNTY, MISSISSIPPI

DRAWN BY	JRM
CHECKED BY	JRM
PROJECT NO.	XXXX
DATE	04/07/2026
SCALE	
REVISION	

A-1



THESE DRAWINGS ARE FOR DESIGN PURPOSES ONLY. THE STRUCTURAL ELEMENTS MUST BE VERIFIED AND DETERMINED BY A QUALIFIED PARTY. THE BUILDER IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES & ORDINANCES.

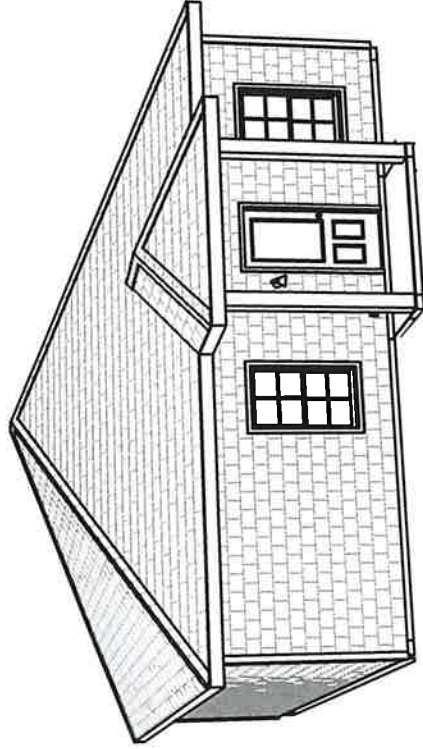


ONE BEDROOM / ONE BATH



22' x 28'
616 square feet HEATED
120 square feet PORCHES

FLOOR PLAN SCALE: 1/4" = 1'



TWO BEDROOM / TWO BATH



30' x 32'
1466 square feet HEATED
120 square feet of porch

FLOOR PLAN SCALE: 1/4" = 1'

PRESENTATION

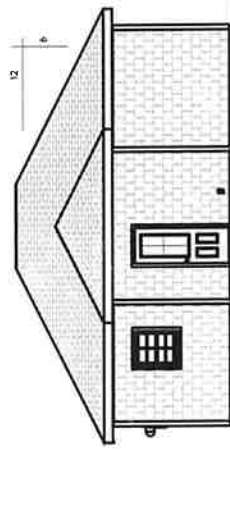
Oxford, MS

Drawn for:
Josh Mathews

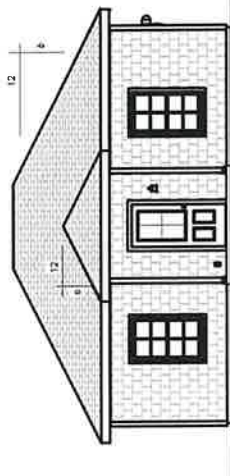
DESIGNS BY
Macel Juergens
(662)816-5897

PAGE: 1
1/12/2024

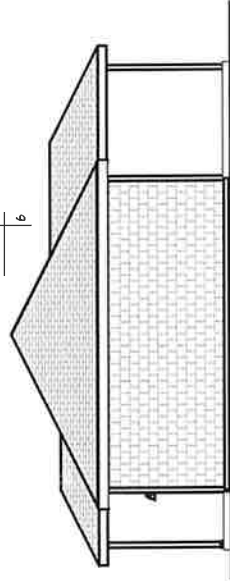
THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF DESIGNS BY MACEL, DEVELOPED FOR THE EXCLUSIVE USE OF DESIGNS BY MACEL. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF DESIGNS BY MACEL IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.



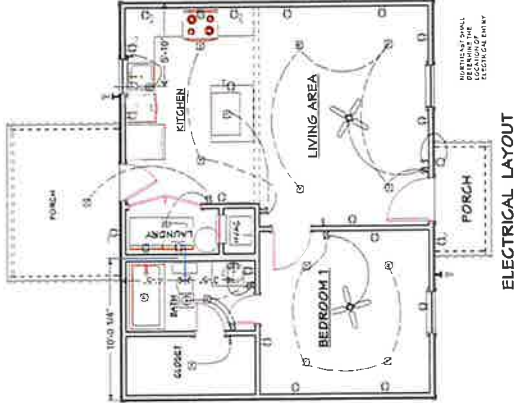
REAR EXTERIOR ELEVATION SCALE: 1/4" = 1'



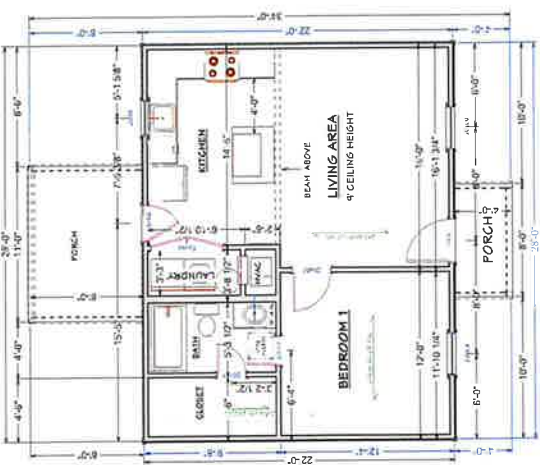
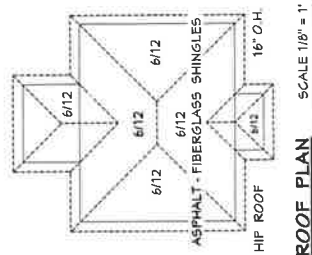
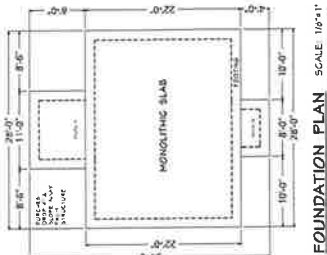
FRONT EXTERIOR ELEVATION SCALE: 1/4" = 1'



RIGHT EXTERIOR ELEVATION SCALE: 1/4" = 1'

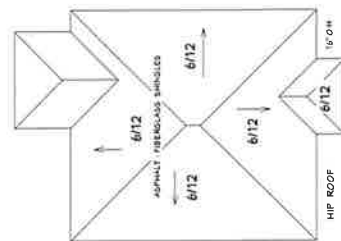
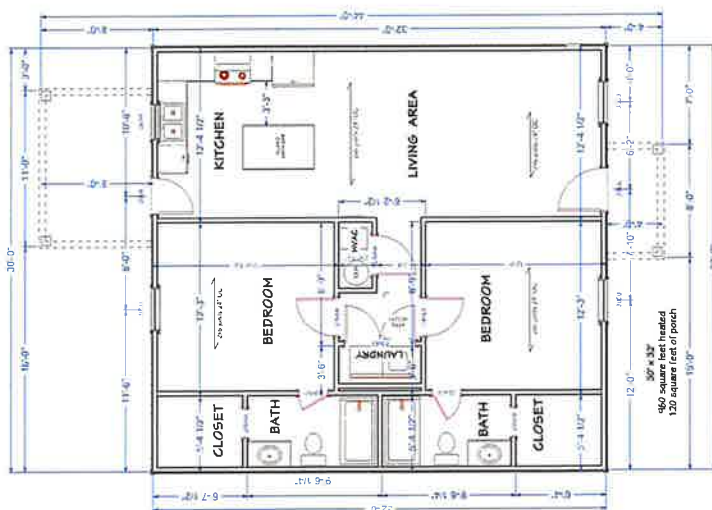


SYMBOL	DESCRIPTION
	GFCI
	Ground Fault Interrupter
	Smoke Detector
	Carbon Monoxide Detector
	First Aid Kit
	Fire Extinguisher
	Fire Alarm
	Fire Alarm Control Unit
	Fire Alarm Pull Station
	Fire Alarm Bell
	Fire Alarm Horn
	Fire Alarm Siren
	Fire Alarm Strobe Light
	Fire Alarm Speaker
	Fire Alarm Bell and Horn
	Fire Alarm Bell and Strobe Light
	Fire Alarm Bell and Speaker
	Fire Alarm Bell and Siren
	Fire Alarm Bell and Strobe Light and Speaker
	Fire Alarm Bell and Strobe Light and Siren
	Fire Alarm Bell and Strobe Light and Speaker and Siren



22' x 28'
616 square feet HEATED
120 square feet PORCHES

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF DESIGNS BY MACEL, DEVELOPED FOR THE EXCLUSIVE USE OF DESIGNS BY MACEL USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF DESIGNS BY MACEL IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.



SIGNAL	DESCRIPTION
	Exhaust Fan
	Exhaust Fan Light
	Exhaust Fan
	Exhaust Fan Light
	Exhaust Fan
	Exhaust Fan Light
	Exhaust Fan
	Exhaust Fan Light
	Exhaust Fan
	Exhaust Fan Light
	Exhaust Fan
	Exhaust Fan Light



ELECTRICAL LAYOUT

A 110 V HARD WIRED, INTERCONNECTED SMOKE DETECTOR WITH BATTERY BACKUP SHALL BE INSTALLED IN LOCATIONS PRESCRIBED BY 2006 INTERNATIONAL RESIDENTIAL CODE.

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF DESIGNS BY MACEL, DEVELOPED FOR THE EXCLUSIVE USE OF DESIGNS BY MACEL USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF DESIGNS BY MACEL IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.

PINE CREST COVE DEVELOPMENT - PHASE 2
CAMP GROUND ROAD
LAFAYETTE COUNTY, MISSISSIPPI



VICINITY MAP



JM ENGINEERING
AND DESIGN, LLC
OXFORD, MS
(662) 801-8803

PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFAYETTE COUNTY, MISSISSIPPI

DRAWN BY	JRM
CHECKED BY	JRM
PROJECT NO	XXXX
DATE	04/01/2008
SCALE	
REVISION	06/15/2008

C-000

INDEX OF PLANS	
COVER SHEET	C-000
SITE LAYOUT	C-100
ART MAP	C-101
ART MAP CONDITIONS	C-102
GRADING PLAN	C-500
UTILITY PLAN	C-501
STORM DRAINAGE PLAN	C-502
EROSION CONTROL PLAN	C-503
WET DETAIL	C-800
WET DETAIL	C-801
WET DETAIL	C-802
STORM DRAINAGE DETAILS	C-803
OUTLET CONTROL STRUCTURE DETAILS	C-804
EROSION CONTROL DETAILS	C-805



JM ENGINEERING
AND DESIGN, LLC
OKMOH, MS
(662) 807-8803

PINE CREST COVE - PHASE 2 CAMP GROUND ROAD LAFAYETTE COUNTY, MISSISSIPPI

SITE PLAN

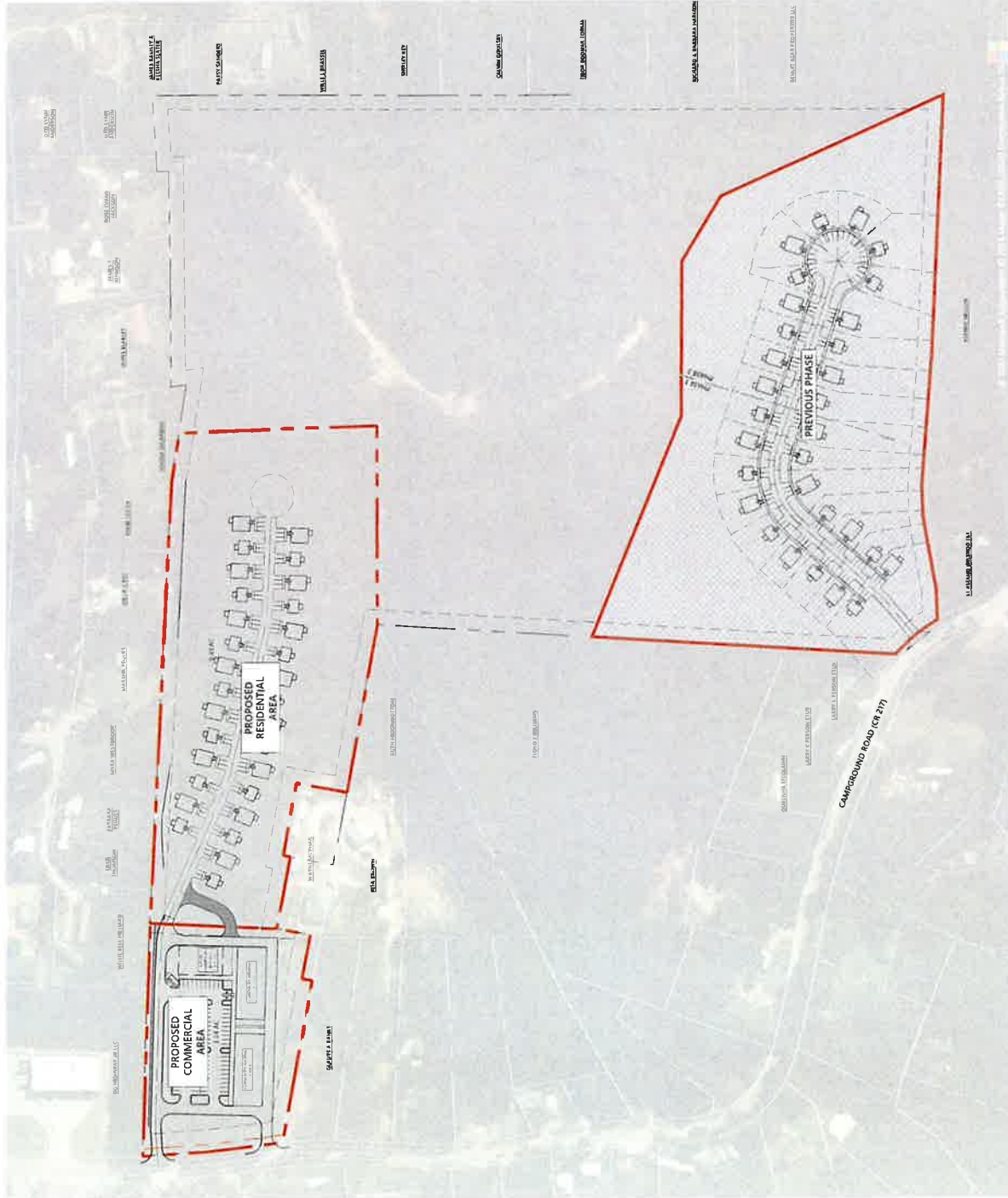
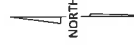
DRAWN BY	JRM
CHECKED BY	JRM
PROJECT NO	XXXX
DATE	04/01/2025
SCALE	1" = 100'
REVISION	06/15/2025

C-100

SITE DATA TABLE

PROPERTY AREA	8.14 AC
ZONING	PUD
3.24 AC - COMMERCIAL	
4.9 AC - RESIDENTIAL	
SETBACKS	FRONT: 30' SIDE: 10' REAR: 10'
BUILDING INFORMATION	23,400 SF - COMMERCIAL BUILDINGS (P) PARKING SPACES 15 - 1 BEDROOM UNITS 15 - 2 BEDROOM UNITS

The developer, JM Holdings, LLC, hereby grants a license to the Lafayette County Board of Supervisors to use the private roads owned by the developer, JM Holdings, LLC, for the purpose of providing emergency services to the residents of the community. The developer, JM Holdings, LLC, agrees to hold Lafayette County harmless for normal wear and tear and damage caused by Lafayette County employees engaged in providing county services.





JM ENGINEERING
AND DESIGN, LLC
OXFORD, MS
(662) 801-4603

PINE CREST COVE - PHASE 2 CAMP GROUND ROAD LAFAYETTE COUNTY, MISSISSIPPI

SITE PLAN

DRAWN BY	JAM
CHECKED BY	JAM
PROJECT NO	XXXX
DATE	04/01/2026
SCALE	1" = 50'
REVISION	06/16/2026

C-100

SITE DATA TABLE

PROPERTY AREA 6.14 AC
ZONING PUD
3.34 AC - COMMERCIAL
9.41 AC - RESIDENTIAL
SETBACKS:
FRONT: 10'
SIDE: 10'
REAR: 10'
BUILDING INFORMATION:
23,400 SF - COMMERCIAL BUILDINGS (91 PARKING SPACES)
15 - 1 BEDROOM UNITS
15 - 2 BEDROOM UNITS

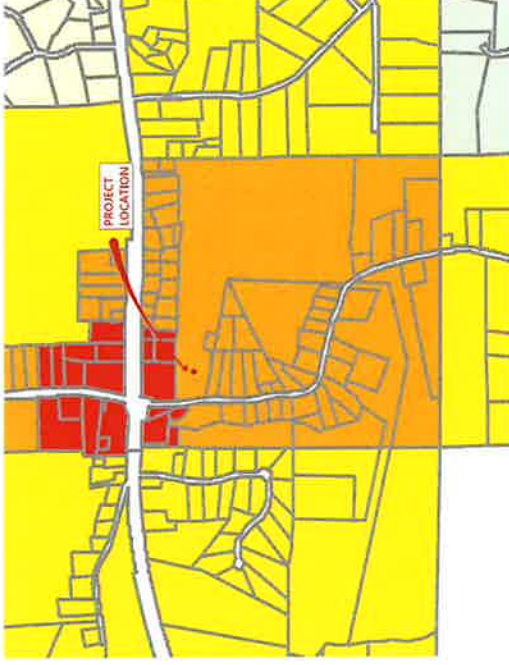




OVERALL LOCATION MAP



LOCATION MAP



ZONING MAP (ZONING: R-2)



AERIAL MAP



DRAWN BY	JMM
CHECKED BY	JMM
PROJECT NO	XXXX
DATE	04/01/2025
SCALE	
REVISION	05/15/2025

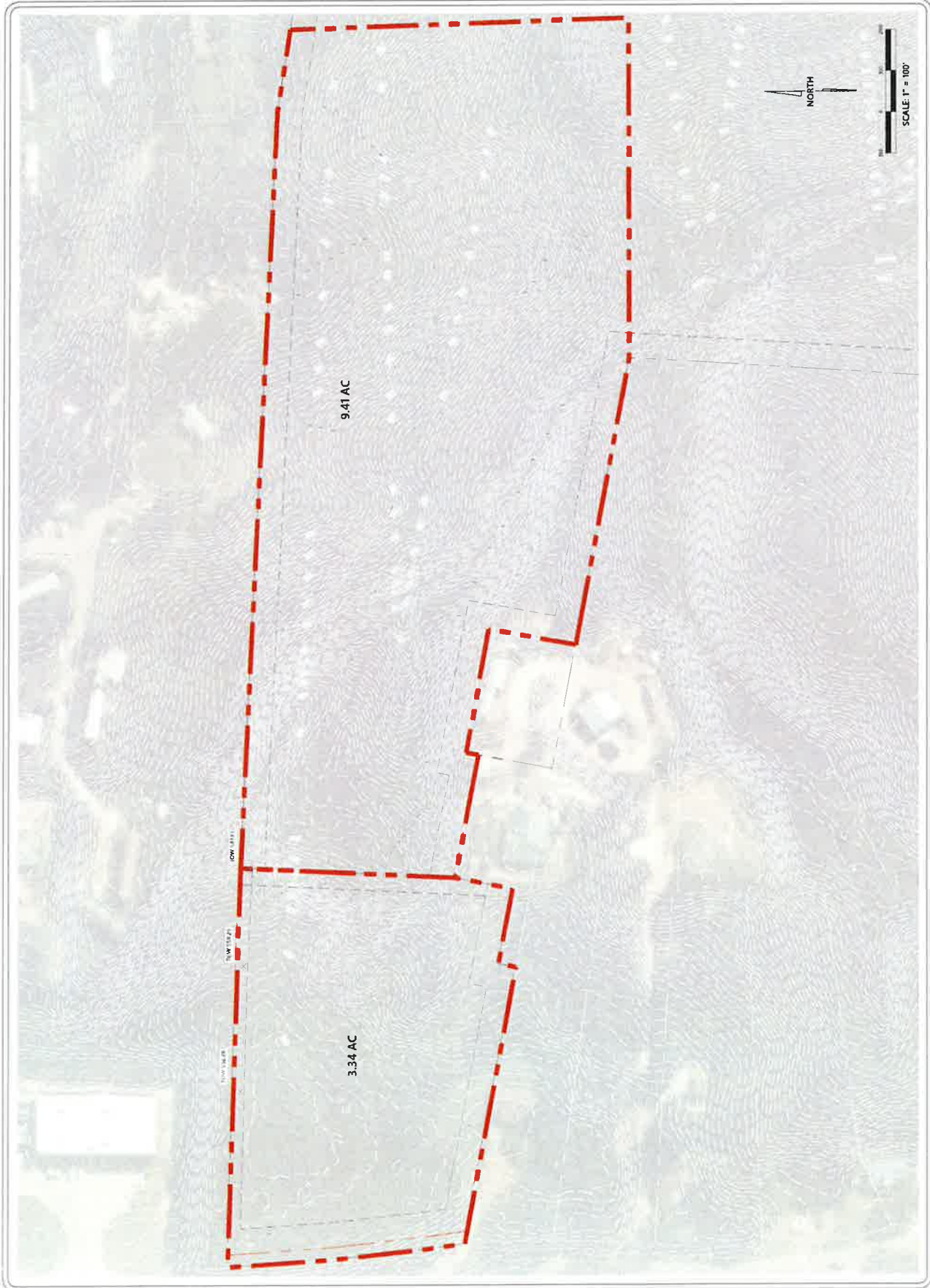
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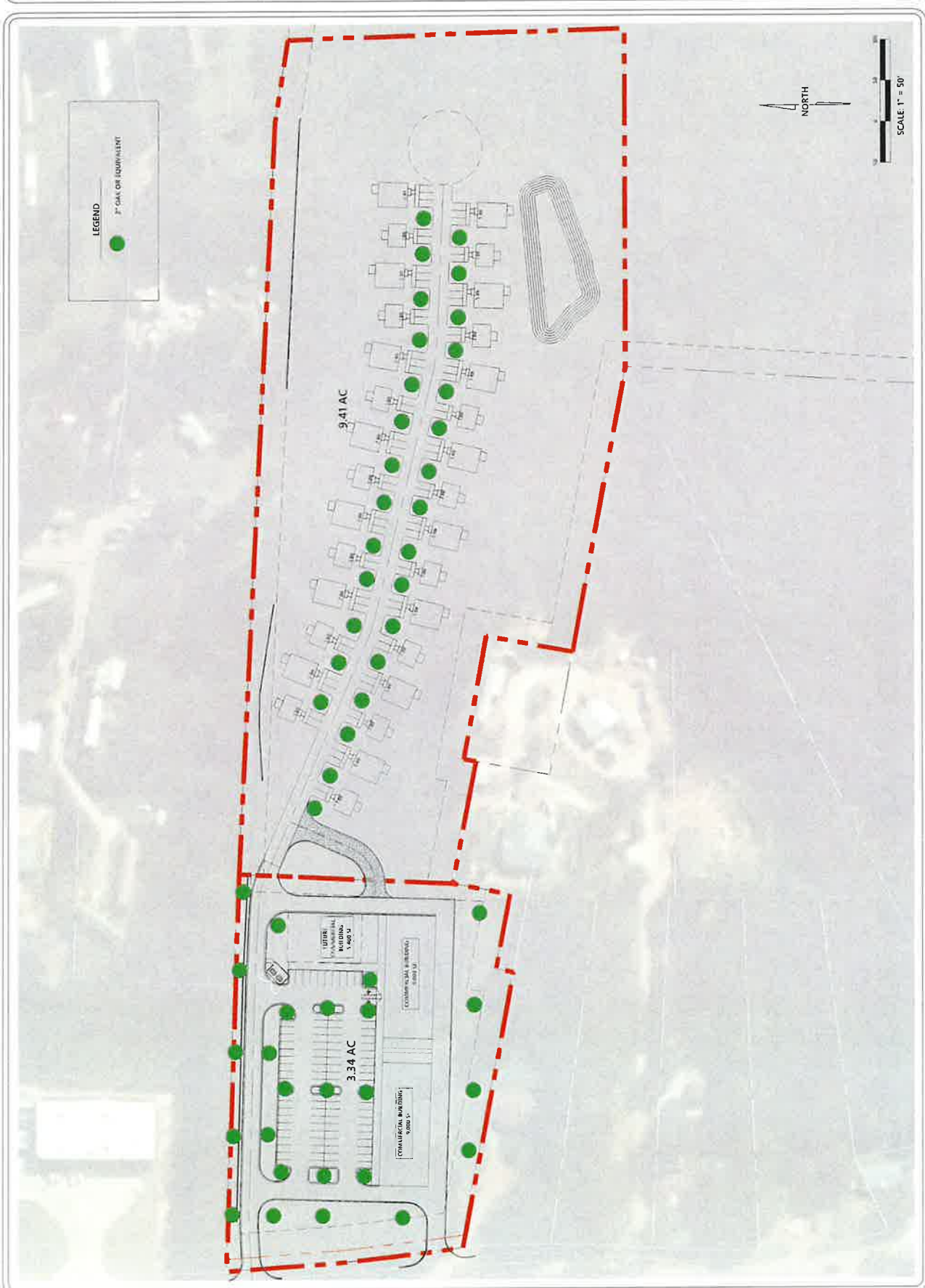
DRAWN BY	JRM
CHECKED BY	JRM
PROJECT NO.	XXXX
DATE	04/01/2006
SCALE	1" = 100'
REVISION	06/16/2006

EXISTING CONDITIONS
PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFAYETTE COUNTY, MISSISSIPPI



JM ENGINEERING
AND DESIGN, LLC
OXFORD, MS
(662) 801-8853





LEGEND

● 3" OAK OR EQUIVALENT

NORTH

SCALE: 1" = 50'

LANDSCAPE PLAN

PINE CREST COVE - PHASE 2

CAMP GROUND ROAD

LAFAYETTE COUNTY, MISSISSIPPI

 JM ENGINEERING
AND DESIGN, LLC
OXFORD, MS
(662) 801-8823

DRAWN BY	JRM
CHECKED BY	JRM
PROJECT NO.	XXXX
DATE	04/01/2026
SCALE	1" = 50'
REVISION	06/15/2026

C-400



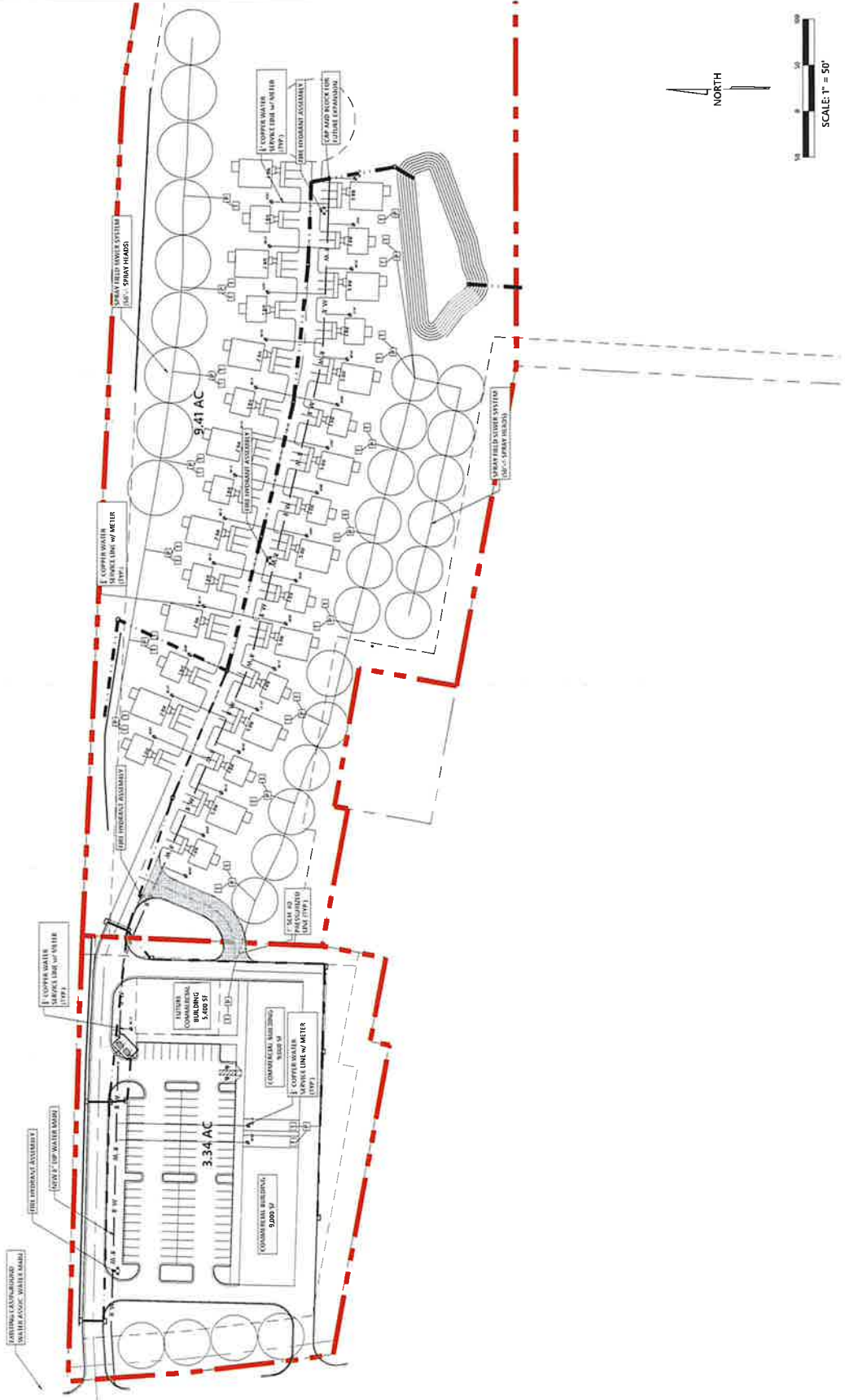
JM ENGINEERING
AND DESIGN, LLC
OXFORD, MS
(662) 801-8803

PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFAYETTE COUNTY, MISSISSIPPI

UTILITY PLAN

DRAWN BY	JRM
CHECKED BY	JRM
PROJECT NO	XXXX
DATE	04/07/2026
SCALE	1" = 50'
REVISION	05/15/2026

C-500





STORM DRAINAGE PLAN
PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFAYETTE COUNTY, MISSISSIPPI

DRAWN BY	JRM
CHECKED BY	JRM
PROJECT NO.	XXXX
DATE	04/01/2026
SCALE	1" = 50'
REVISION	05/15/2026

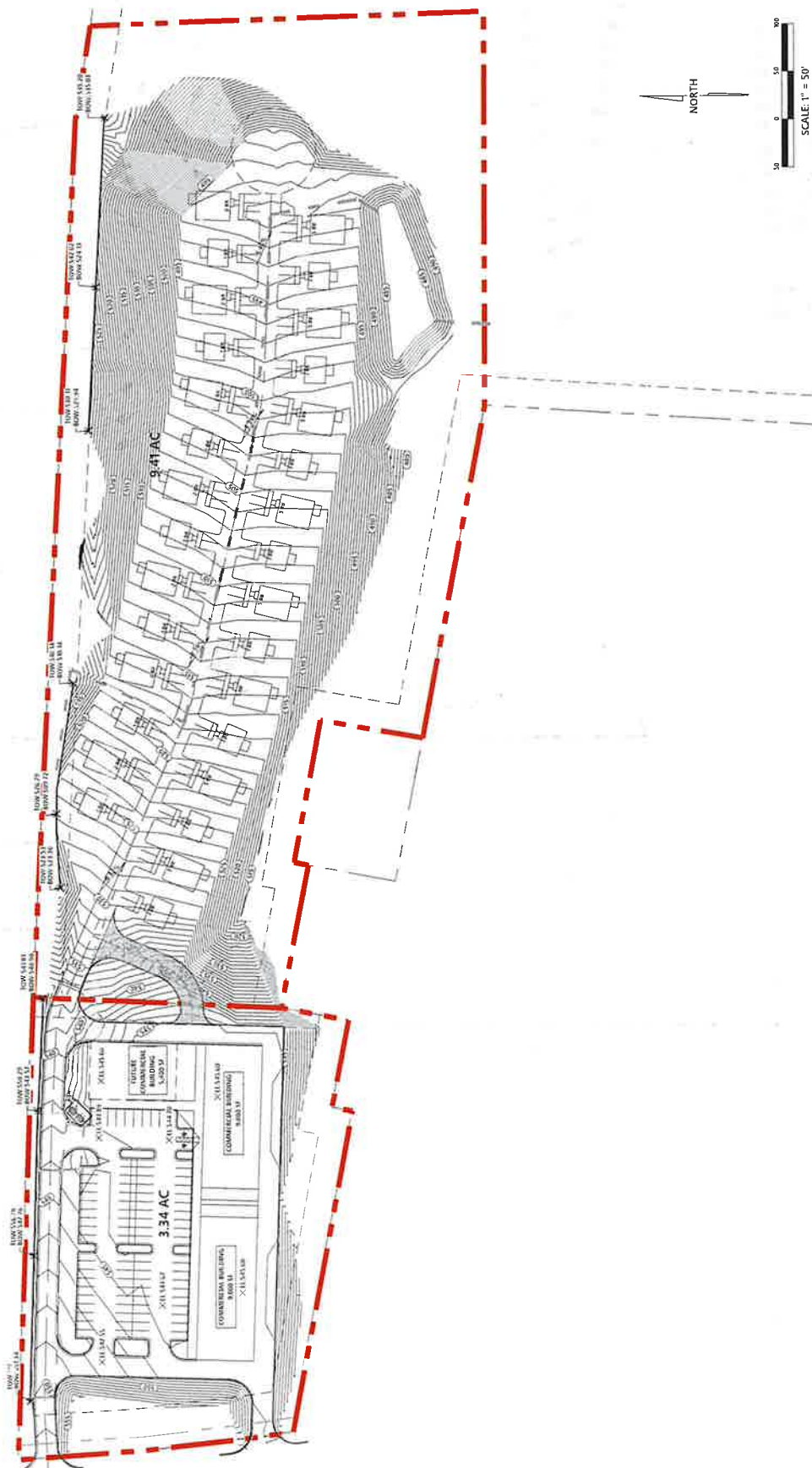
C-501



GRADING PLAN
PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFAYETTE COUNTY, MISSISSIPPI



JUM ENGINEERING
 AND DESIGN, LLC
 OXFORD, MS
 (662) 801-8903



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PROJECT NO	XXXX
DATE	04/01/2025
SCALE	1" = 10'
REVISION	06/15/2026

C-700

[illegible]

- [illegible]

GENERAL NOTES
1. LIST OF PUBLIC UTILITIES
2. WATER AND
3. SANITARY
4. GAS
5. CABLE
6. TELEPHONE
7. FIBER OPTIC

- 2) ALL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING STRUCTURES SUCH AS BRICK, CONCRETE, CURBS, ETC. FROM DAMAGE WHICH OCCUR DURING CONSTRUCTION. EXISTING CURBS SHALL BE REPAIRED IN THE SAME MANNER AS THE ORIGINAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL REPAIR OR REPLACE AS DIRECTED BY THE ENGINEER. ANY STRUCTURES DAMAGED DURING THE PROJECT SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- 3) ALL EXISTING UTILITIES OR OTHER OBSTRUCTIONS WHICH CONFLICT WITH REQUIRED CONSTRUCTION SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE OR AS AN ASSUMED ITEM.
- 4) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL MAINTAIN A SMALL EXCAVATION AT ALL TIMES TO INSURE THAT ALL UTILITIES ARE NOT LOST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL MAINTAIN A SMALL EXCAVATION AT ALL TIMES TO INSURE THAT ALL UTILITIES ARE NOT LOST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL MAINTAIN A SMALL EXCAVATION AT ALL TIMES TO INSURE THAT ALL UTILITIES ARE NOT LOST.
- 5) EXISTING UTILITIES ON THE DRAWINGS ARE SHOWN IN THEIR ORIGINAL LOCATION BASED UPON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER CAN NOT AND DOES NOT WARRANT THAT THE LOCATION OF EXISTING UTILITIES IS CORRECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL MAINTAIN A SMALL EXCAVATION AT ALL TIMES TO INSURE THAT ALL UTILITIES ARE NOT LOST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL MAINTAIN A SMALL EXCAVATION AT ALL TIMES TO INSURE THAT ALL UTILITIES ARE NOT LOST.

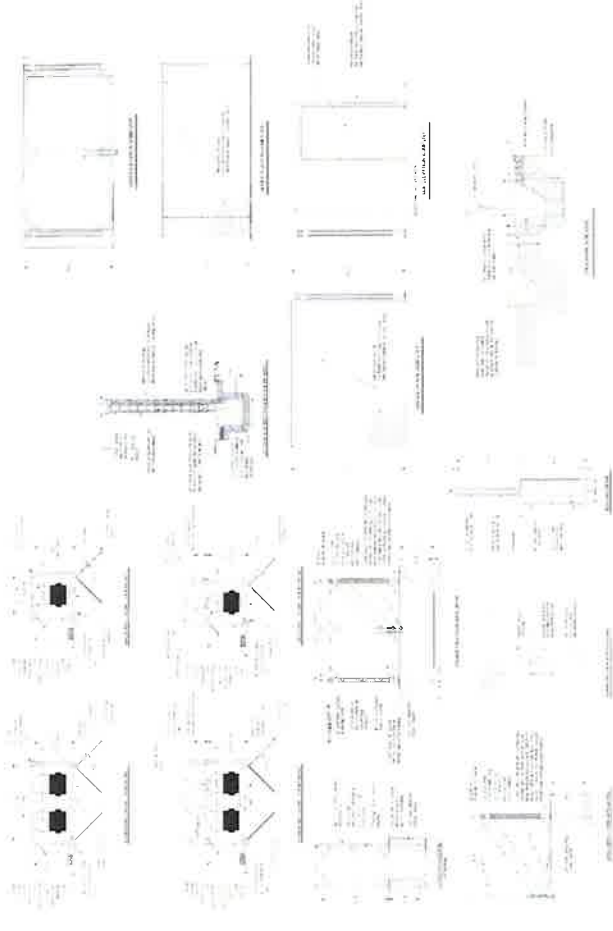
- 6) WORK ON STRUCTURES FOR THIS PROJECT REQUIRES EXCAVATION IN THE IMMEDIATE VICINITY OF ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ADJACENT PROPERTIES. THE CONTRACTOR SHALL MAINTAIN A SMALL EXCAVATION AT ALL TIMES TO INSURE THAT ALL UTILITIES ARE NOT LOST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ADJACENT PROPERTIES. THE CONTRACTOR SHALL MAINTAIN A SMALL EXCAVATION AT ALL TIMES TO INSURE THAT ALL UTILITIES ARE NOT LOST.
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- 13) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACQUIRE A COPY OF THE GDETCI REPORT AND FOLLOW ALL RECOMMENDATIONS.
- 14) ALL MATERIALS SPEC'D SHALL MEET LAFAFETTE COUNTY SPECIFICATIONS AND REQUIREMENTS.



Typical Sections - Parking and Interior Drives

- 1) SUBGRADE: MINIMUM PROCESSED IN SITU SOIL OR SELECT IMPORTED FILL COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY WEIGHT. SUBGRADE SHALL BE MINIMUM 6" MINIMUM CRUSHED LIMESTONE MEETING MODOT SPECIFICATIONS FOR SIZE NO. 8A AGGREGATE. COMPACT TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557.
- 2) BASE: 2" MINIMUM NOT MIXED BITUMINOUS BASE COURSE CONFORMING TO MODOT STANDARD SPECIFICATIONS FOR TYPE III-BM OR TYPE III-BM. BASE SHALL BE MINIMUM 6" MINIMUM CRUSHED LIMESTONE MEETING MODOT SPECIFICATIONS FOR SIZE NO. 8A AGGREGATE. COMPACT TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557.
- 3) SURFACE: 1" MINIMUM NOT MIXED BITUMINOUS SURFACE COURSE CONFORMING TO MODOT STANDARD SPECIFICATIONS FOR TYPE III-BM OR TYPE III-BM. SURFACE SHALL BE MINIMUM 6" MINIMUM CRUSHED LIMESTONE MEETING MODOT SPECIFICATIONS FOR SIZE NO. 8A AGGREGATE. COMPACT TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557.
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DUMPSTER DETAIL



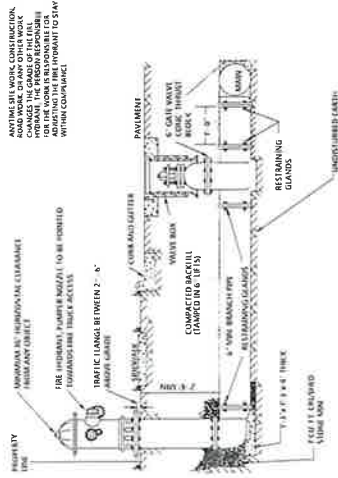
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AND DESIGN, LLC
OXFORD, MS
(662) 887-8883

PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFAFETTE COUNTY, MISSISSIPPI

SITE DETAILS

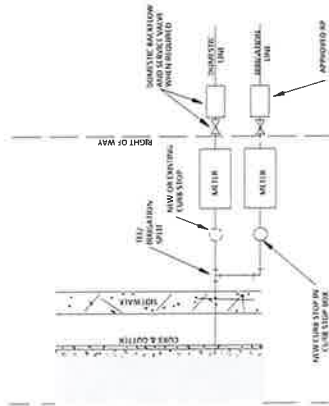
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PROJECT NO	XXXX
DATE	04/07/2025
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REVISION	06/15/2025

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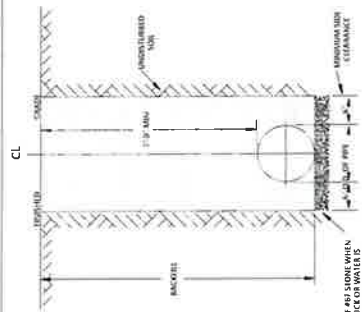


- NOTE: 1. HYDRANT SHALL BE AS MANUFACTURED: MILLER, AMERICAN DARTLINE, PENNEY, MAM, WATTS, CLOW, EAST GORDON, IRON WORKS, OR US PIPE.
2. BRANCHPIPE SHALL BE DUCHE BOHN APPROX 6" B.
3. 1" GATE VALVE SHALL BE AMCA C50 90 101 (1)
4. 4" GATE VALVE SHALL BE 100' 101 (1)
HYDRANTS WILL BE LOCATED IN FULL VERTICAL POSITION
PODS SHALL NOT BE LOCATED MORE THAN ONE (1) FEET FROM THE VALVE TO THE
PODS. ALL HYDRANTS SHALL BE INSTALLED IN ROW OR 2 FOOT FOOTING IN CONCRETE
THE HYDRANTS TO BE LOCATED IN ROW OR 2 FOOT FOOTING ADVANCE TO ROW

PIPE HYDRANT INSTALLATION: DETAIL

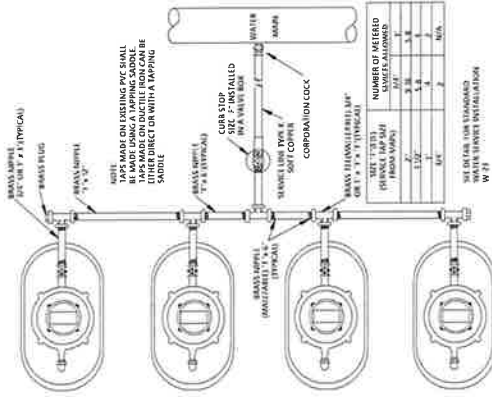


1. IRRIGATION METER SHALL BE LOCATED ON THE SIDE OF DOMESTIC METER WITHIN 2' READING ADDRESSES
2. THE BACKFLOW SHALL BE INSTALLED NO MORE THAN 4' FROM THE METER IN A VISIBLE LOCATION
3. ALL VALVES/STANDPIPES SHALL BE OF COPPER OR BRASS
4. THE RPI RELIEF VALVE SHALL BE A MINIMUM OF 1" ABOVE ANY MATERIAL (MULCH INCLUDED) OR GRADE
5. A SERVICE VALVE IS REQUIRED AFTER THE METER BUT BEFORE THE BACKFLOW
6. THE METER SHALL BE INSTALLED WITHIN 10' OF THE MAINLINE AND 10' FROM THE HOUSE
7. THE INSTALLATION MUST ALSO MEET ALL CODE REQUIREMENTS PER THE NC PLUMBING CODE



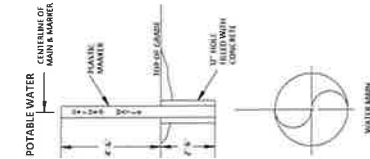
- NOTES
1. TRENCHES REQUIRING SHORING AND BRACING INSIDE FACT OF THE SHORING AND BRACING
2. 12" OR ROCCS OR BOLLIDERS 4" OR LARGER TO BE USED IN BACKFILL
3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL
4. BACKFILL SHALL BE "RAMPED IN 6" LIFTS
5. ACHIEVE 95% COMPACTION IN BACKFILL

TRENCH REQUIREMENTS FOR MAN



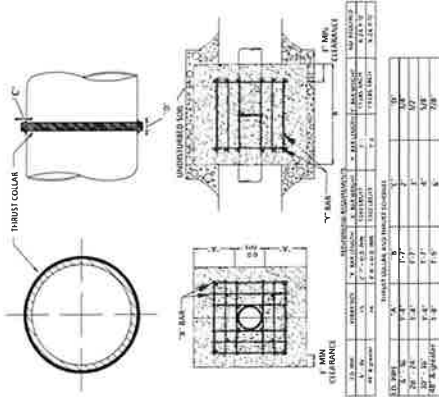
- | DATE + CITY
(HOUSE MAP SHEET)
FROM VARIOUS | NUMBER OF METERED
SERVICES ALLOWED |
|--|---------------------------------------|
| 7-10-98 | 1 |
| 8-10-98 | 3 |
| 9-10-98 | 3 |
| 10-10-98 | 4 |
| 11-10-98 | 2 |

ATMOSPHERIC PARTICULATE MATTER



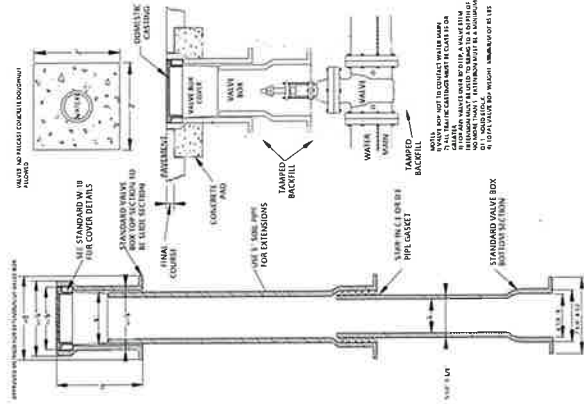
- NOTES

TOUGH REQUIREMENTS FOR MANY



- [illegible]

THREAT BLOCKING DESIGN DATA



- ILL
- MOTTS
- 7) VALVE BOX NOT TO CONTACT WATER GAUGE
- 8) ALL TRAILER CANTONERS MUST BE CLASSED BY OR
- GRATIA
- 9) FOR AIR VALVES OVER 10" DIA. A VALVE STEM
- INDICATION MUST BE USED TO INDICATE TO A DEPTH OF
- NO MORE THAN 5". EXTENSION MUST BE A MINIMUM
- OF 1" LONG STOUT
- 10) AIR VALVE BOX WHICH IS A MINIMUM OF 18" L

VALVE BOX INSTALLATION

C-802

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PROJECT NO	XXXX
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PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFAYETTE COUNTY, MISSISSIPPI



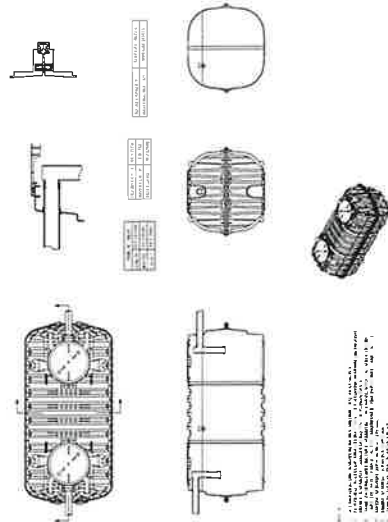
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SEWER DETAILS

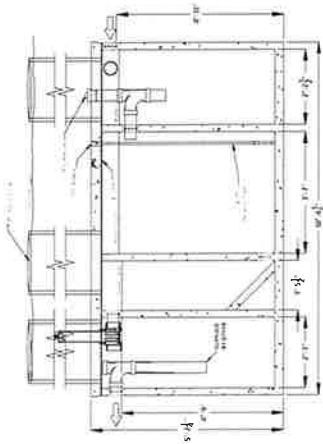
TREATMENT TO PUMP DETAIL

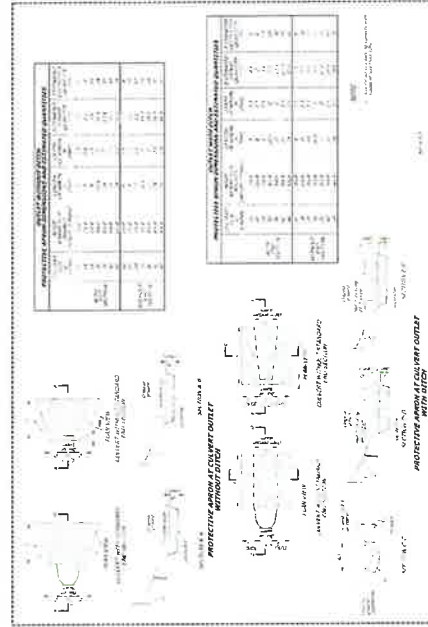
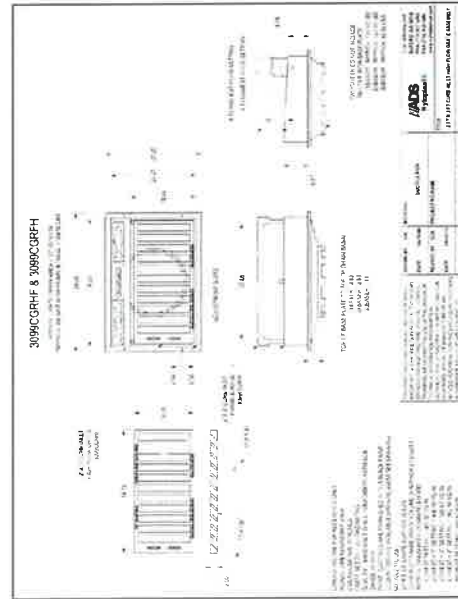
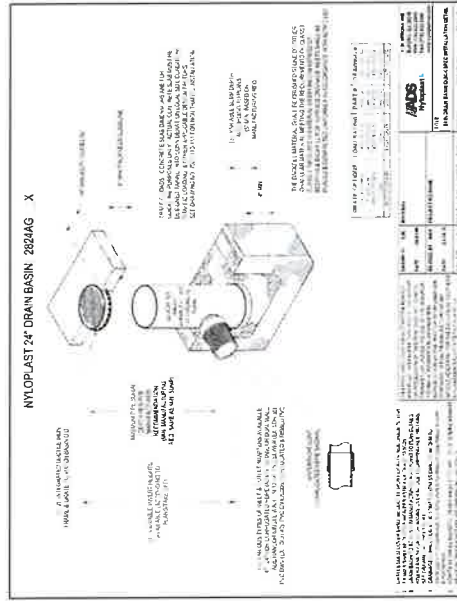
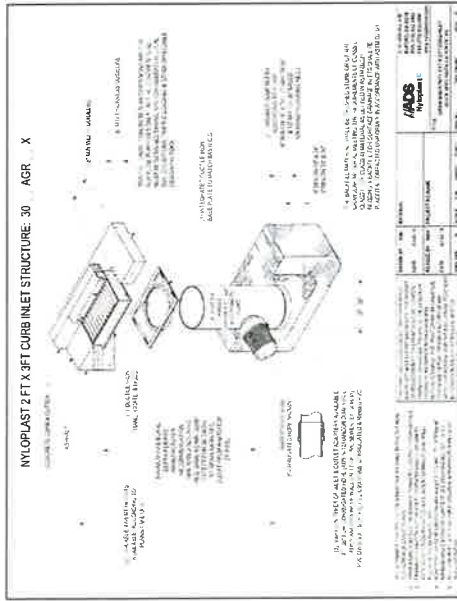


INLET INTERVENTAL DPO DETAIL



320 DPO TREATMENT SYSTEM





STORM DRAINAGE DETAILS
PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFAYETTE COUNTY, MISSISSIPPI

STORM DRAINAGE DETAILS
PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFAYETTE COUNTY, MISSISSIPPI

STORM DRAINAGE DETAILS
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STORM DRAINAGE DETAILS
PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFAYETTE COUNTY, MISSISSIPPI



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C-803

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PROJECT NO	XXXX
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SCALE	
REVISION	06/16/2026

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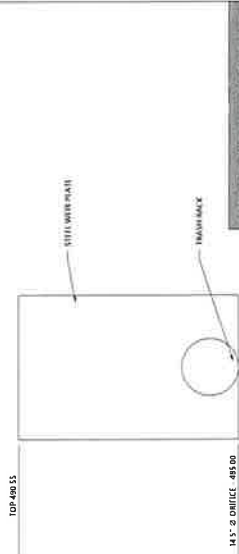
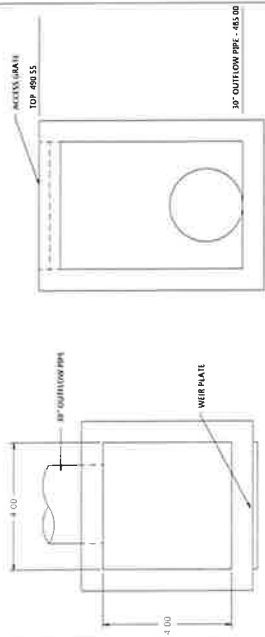


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OUTLET CONTROL STRUCTURE DETAILS
PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFAYETTE COUNTY, MISSISSIPPI

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OUTLET CONTROL STRUCTURE (OCS)
#1 DETAIL



CONTECH TRASH RACK DETAIL



EROSION CONTROL DETAILS
PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFALETTE COUNTY, MISSISSIPPI

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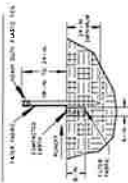
SILT FENCE INSTALLATION DETAILS

SALT PENCE - GENERAL NOTES

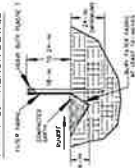
- DO NOT PLACE SLIT FENCE ALONGS CHANNELS OR IN OTHER AREAS SUBJECT TO CONCENTRATED FLOWS. SLIT FENCE SHOULD NOT BE USED AS A VELOCITY CONTROL BARRIER. CONCENTRATED FLOWS ARE ALWAYS GREATER THAN AVERAGE FLOWS.
- MAXIMUM SLOPE OF CHANNEL FLOW PATH LENGTH TO THE SLIT FENCE SHALL BE 10%.
- MINIMUM SLOPE OF CHANNEL FLOW PATH LENGTH TO THE SLIT FENCE SHALL BE 2%.
- SLIT FENCE JOINTS, WHEN NECESSARY, SHALL BE COMPLETED BY ONE OF THE FOLLOWING OPTIONS:

- [illegible]

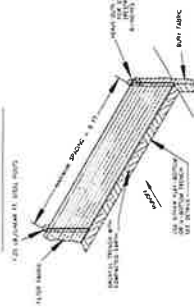
FLAT-BOTTOM TRENCH DETAIL



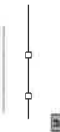
V-SHAPED TRENCH DETAIL



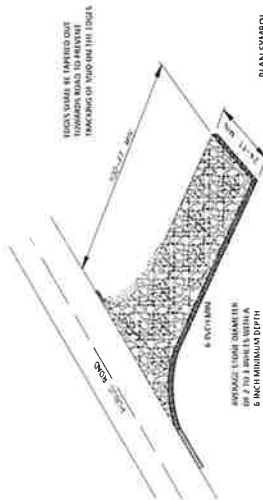
SILT FENCE INSTALLATION



PLAN SYMBOL



THOMSON PUBLISHING INC.



SPECIFICATION	SIZE
ROCK PADD STOCKLESS	4 INCHES
ROCK PADD W/STIFF	24 INCH
ROCK PADD STIFFEN	24 INCH
ROCK PADD STIFFEN	24 INCH

Journal of Management Education 34(1)

INLET PROTECTION, TYPE "A"

GENERAL NOTES

WHITE PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DISCRETION OF THE EMPLOYER.

- ② PAINTS & COATINGS INCLUDING TARP POCIES WHERE REQUIRED SHALL EXCEED A MINIMUM OF 100% OF THE SURFACE AREA OF THE TARP POCIES.
- ③ FOR WELLS PROTECTING TYPE C WITH CURB BOX, AN ADDITIONAL 1" OF PAPER IS WRAPPED AROUND THE WELLS AND CURB WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

INSTALLATION NOTES

[illegible]

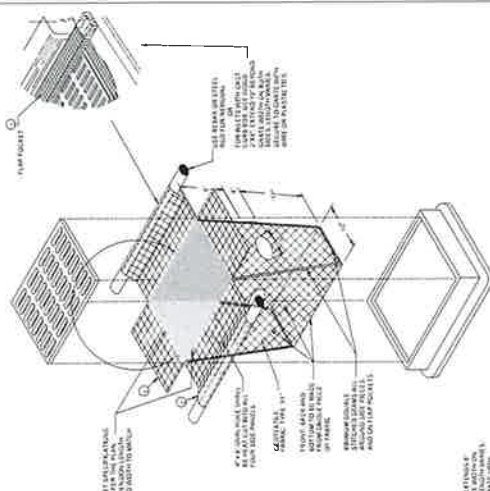
THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE USING A SEVEN FLAP FLAP HOLD OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE 0

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG MEASURED AT THE BOTTOM OF THE OVERFLOW INCHES OF 3" AND BE NECESSARY THE CONTRACTOR SHALL CATCH THE BAG USING PLASTIC ZIP TIES TO AVOID THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

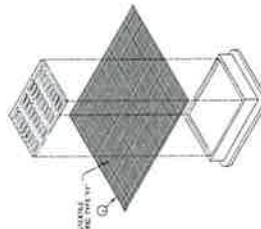
NILET PROTECTION. TYPE "D"

(CAN BE INSTALLED IN ANY PALET WITH OR WITHOUT A CLAMP FOR AN EASY INSTALLATION)



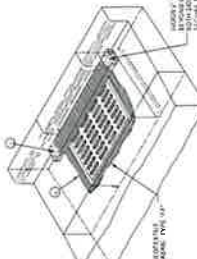
INLET PROTECTION, TYPE "B"

(WITHOUT CURB BOX)



INLET PROTECTION, TYPE "C"

WITH CURB BOX)



NUMBER OF CRYSTALS PER UNIT AREA



012 940 6174

- REPAIR SAP: CONCRETE NOTES**
1. CONCRETE FILLING AND REPAIRS SHOULD BE CONSIDERED FOR USE WITH CONCURRENTLY CAST ELEMENTS HAVING SAME OR GREATER TENSILE STRENGTH.
2. PRECAST CONCRETE FILL AND REPAIRS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO R-15, CLASS 3, AND SHALL BE REINFORCED CONCRETE OF THE SAME TYPE AND STRENGTH AS THE EXISTING CONCRETE.
3. PRECAST CONCRETE FILL AND REPAIRS FOR EXISTING REINFORCED CONCRETE SHALL BE AS SPECIFIED ON THE PLAN FOR THE EXISTING CONCRETE.
4. THE FILL AND REPAIR SHALL BE PLACED IN THE FORM AND BE COMPACTED TO THE SAME DENSITY AS THE EXISTING CONCRETE.
5. REPAIR SHALL CONFORM TO AAST E-107 FOR THE VARIOUS SPECIFICATIONS.
6. REPAIR SHALL BE CONFORMANT TO SECTION 202 OF THE STANDARD SPECIFICATIONS.
7. FURTHER SPECIFIC WORK CONSTRUCTION SHALL BE AS SPECIFIED ON THE PLAN.

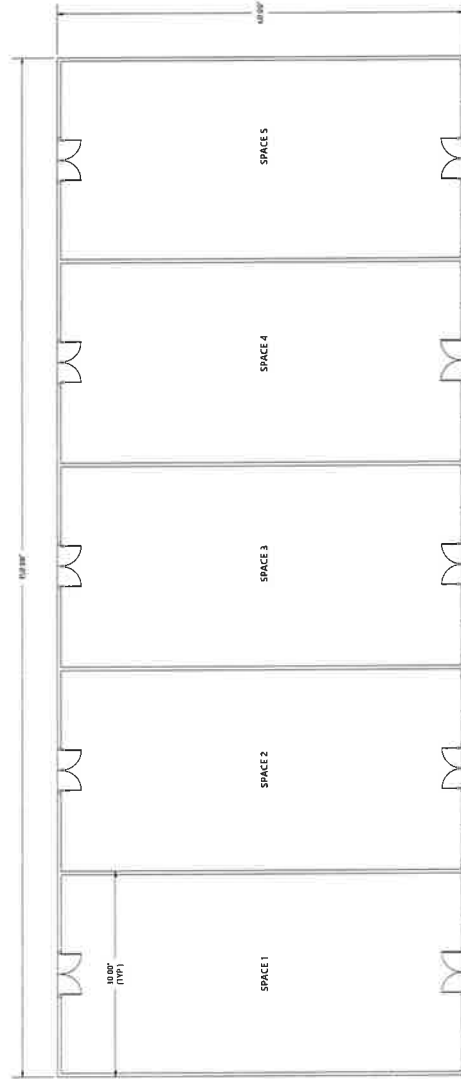
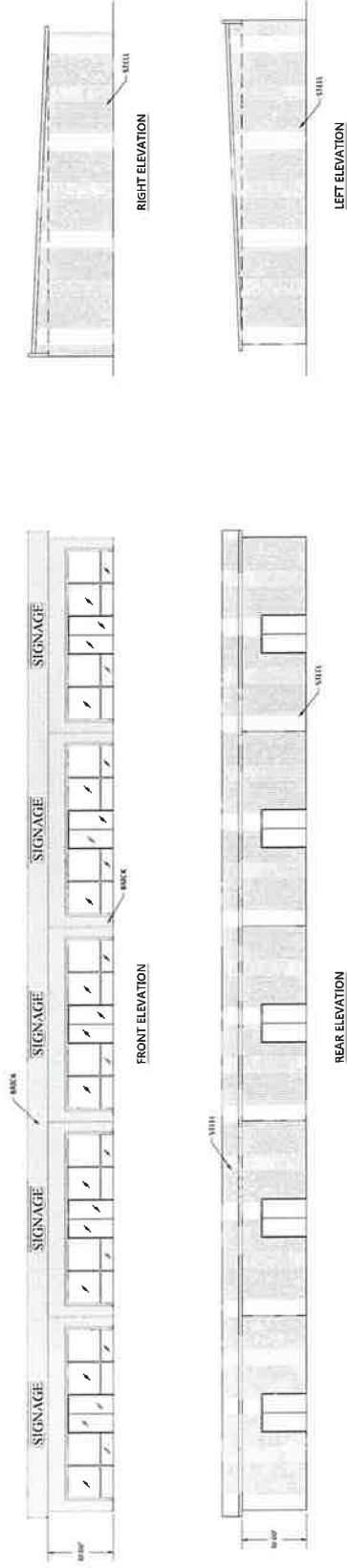


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PINE CREST COVE - PHASE 2
CAMP GROUND ROAD
LAFAYETTE COUNTY, MISSISSIPPI

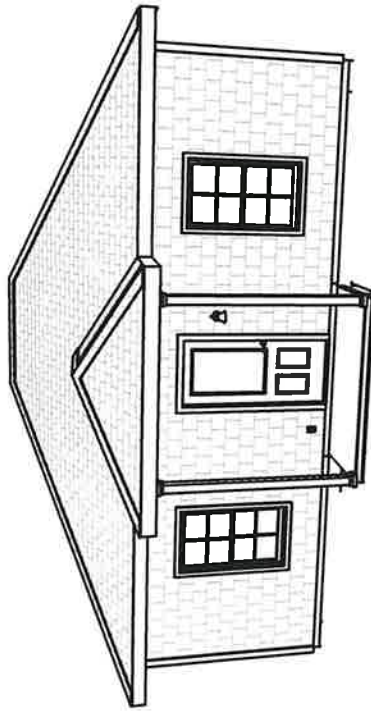
DRAWN BY	JRM
CHECKED BY	JRM
PROJECT NO	XXXX
DATE	04/01/2026
SCALE	
REVISION	06/15/2026

A-1



FLOOR PLAN

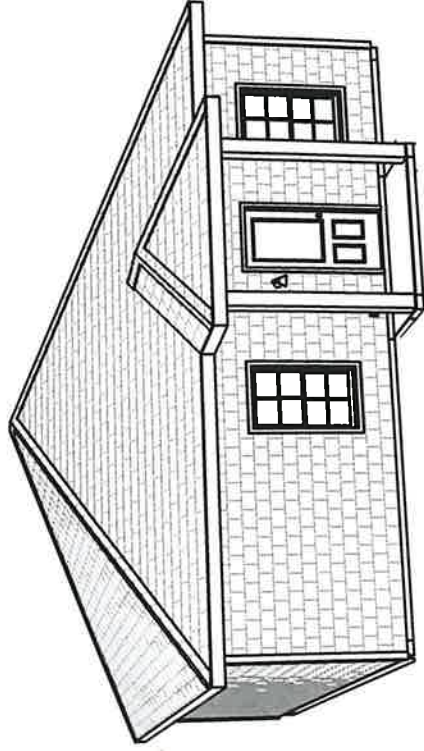
THESE DRAWINGS ARE FOR DESIGN PURPOSES ONLY. THE STRUCTURAL ELEMENTS MUST BE VERIFIED AND DETERMINED BY A QUALIFIED PARTY. THE BUILDER IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES & ORDINANCES.



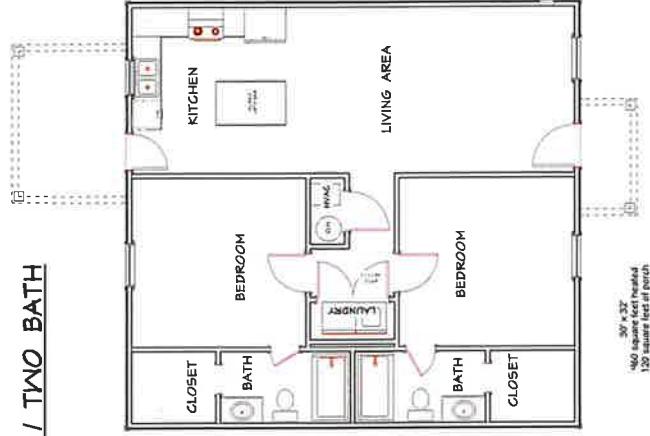
ONE BEDROOM / ONE BATH



FLOOR PLAN SCALE: 1/4" = 1'

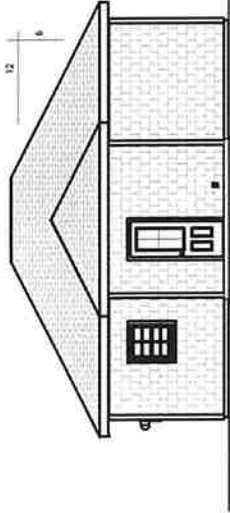


TWO BEDROOM / TWO BATH

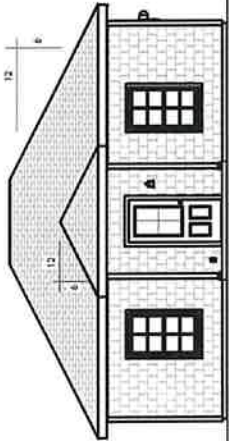


FLOOR PLAN SCALE: 1/4" = 1'

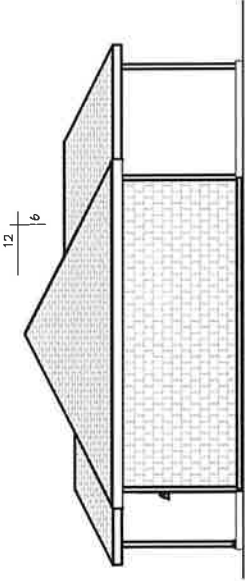
THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF DESIGNS BY MACEL, DEVELOPED FOR THE EXCLUSIVE USE OF DESIGNS BY MACEL. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF DESIGNS BY MACEL IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.



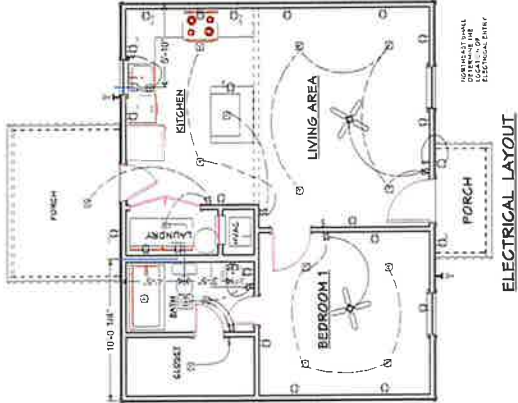
REAR EXTERIOR ELEVATION SCALE: 1/4" = 1'



FRONT EXTERIOR ELEVATION SCALE: 1/4" = 1'



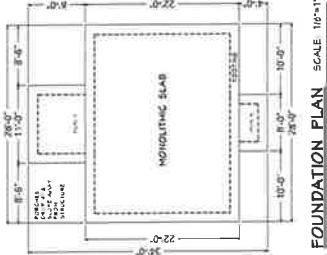
RIGHT EXTERIOR ELEVATION SCALE: 1/4" = 1'



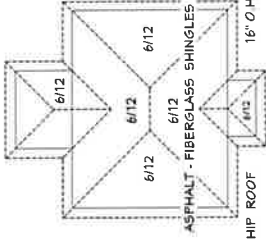
ELECTRICAL LAYOUT

ELECTRICAL - LEGEND	
Symbol	DESCRIPTION
	GROUNDING
	Cable Tray
	Ventilation Fans Ceiling Mounted, Wall Mounted
	Cable Mounted Light Fixtures, Surface Mounted
	Wall Mounted Light Fixtures, Flush Mounted
	Recessed Light Fixture
	Ceiling Light Fixture
	Switches, Dimmer, Timer
	Telephone Jack
	Electrical Breaker Panel
	Door Chime, Door Bell Button
	Smoke Detector, Ceiling Mounted, Wall Mounted

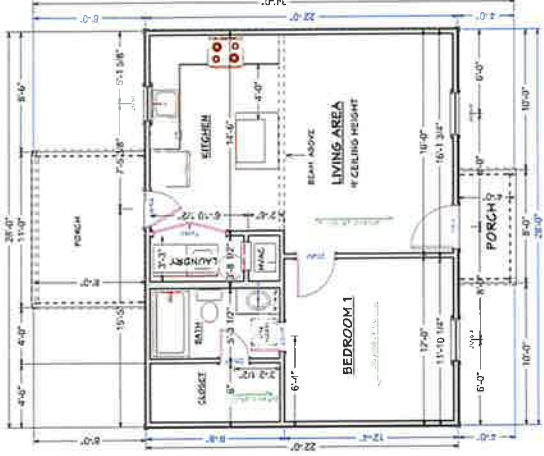
A 110 V HARD WIRED, INTERCONNECTED SHOCK DETECTOR WITH BATTERY BACKUP SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.



FOUNDATION PLAN SCALE: 1/8" = 1'



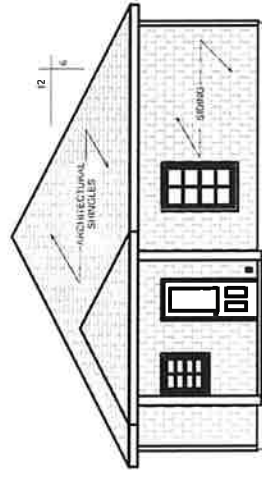
ROOF PLAN SCALE: 1/8" = 1'



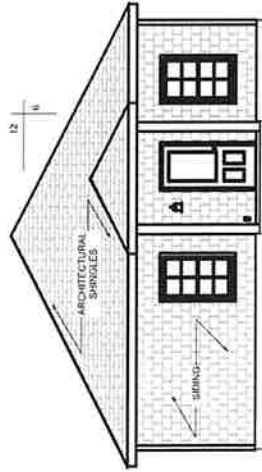
FLOOR PLAN SCALE: 1/4" = 1'

22' x 28'
616 square feet HEATED
120 square feet PORCHES

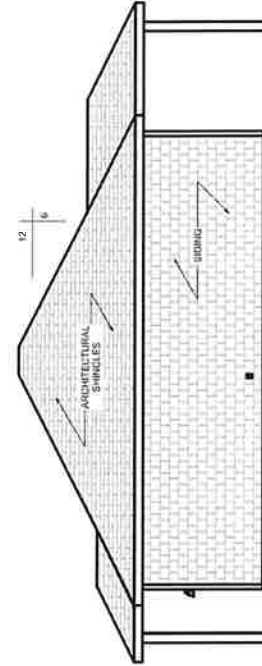
THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF DESIGNS BY MACEL, DEVELOPED FOR THE EXCLUSIVE USE OF DESIGNS BY MACEL. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF DESIGNS BY MACEL IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.



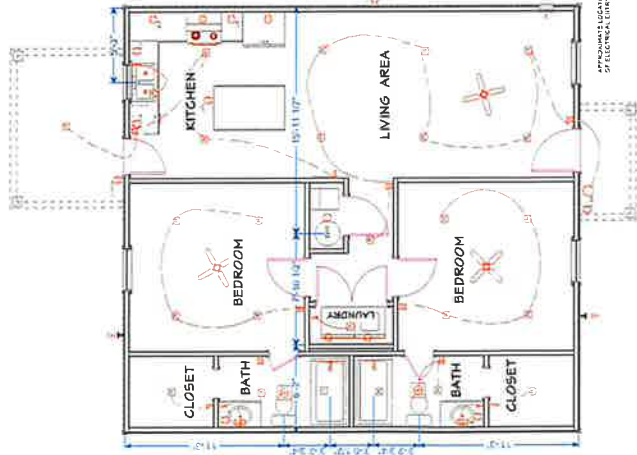
REAR EXTERIOR ELEVATION SCALE: 1/4" = 1'



FRONT EXTERIOR ELEVATION SCALE: 1/4" = 1'



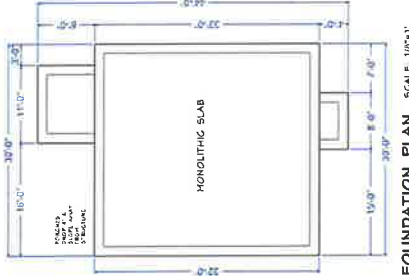
RIGHT EXTERIOR ELEVATION SCALE: 1/4" = 1'



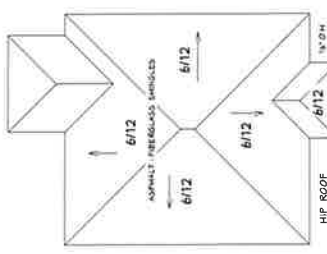
ELECTRICAL LAYOUT

ELECTRICAL - LEGEND	
SYMBOL	DESCRIPTION
	1/2\"/>
	3/4\"/>
	1\"/>
	1 1/2\"/>
	2\"/>
	2 1/2\"/>
	3\"/>
	4\"/>
	6\"/>
	8\"/>
	10\"/>
	12\"/>
	14\"/>
	16\"/>
	18\"/>
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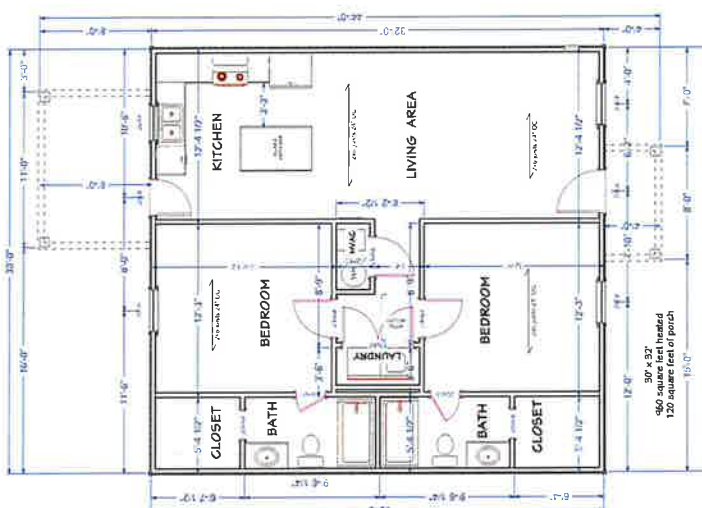
ALL WIRING AND WIRING INTERCONNECTED SHALL BE DETECTED BY THE ELECTRICAL CONTRACTOR AND INSTALLED IN LOCATIONS PRESCRIBED BY THE INTERNATIONAL RESIDENTIAL CODE



FOUNDATION PLAN SCALE: 1/8" = 1'



ROOF PLAN SCALE: 1/8" = 1'



FLOOR PLAN SCALE: 1/4" = 1'

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