

LAFAYETTE COUNTY BOARD OF SUPERVISORS

September 8th, 2026

5:00 PM

1. Call to Order
2. Approve Agenda
3. Approve minutes of regular meeting August 17th, 2026 and recessed meeting August 20th, 2026.
4. Accept jail meal log and affidavit from Jail Administrator per section 19-25-74.

AFFIDAVIT OF JOHNNY MCDONALD

STATE OF MISSISSIPPI

COUNTY OF LAFAYETTE

Before me personally appeared the undersigned, Johnny McDonald, who being known to me and first duly sworn, deposes and says as follows:

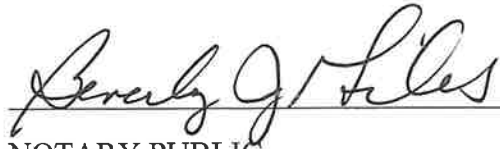
1. My name is Johnny McDonald. I am currently the Jail Administrator of the Lafayette County Detention Center. I was appointed to this position by Sheriff F.D. "Buddy" East on June 1, 2013.
2. As required by Miss. Code Ann. § 19-25-74, the Lafayette County Sheriff's Department maintains a log, showing the name of each prisoner, the date and time of incarceration and release, to be posted daily, which shall record the number of meals served to prisoners at each mealtime, and the hours of the day served (the "meal log").
3. I have reviewed invoice numbers 200ABS100004613 and 200ABS100005243 from Summit Foods in the amount of \$7,586.87 and \$7,850.71. These invoices are for the feeding of prisoners from 07/25/2026 to 08/07/2026.
4. To the best of my knowledge, I find this invoice to be a true and correct match to the meal log in accordance with Mississippi Code Annotated § 19-25-74.
5. The meal log is being stored in the County Administrator's office and can be reviewed at any time.

Dated: 08/19/2026



Johnny McDonald

Sworn and subscribed before me this the 19th day of August, 2026.



NOTARY PUBLIC

My commission expires:

September 23, 2026



AFFIDAVIT OF JOHNNY MCDONALD

STATE OF MISSISSIPPI

COUNTY OF LAFAYETTE

Before me personally appeared the undersigned, Johnny McDonald, who being known to me and first duly sworn, deposes and says as follows:

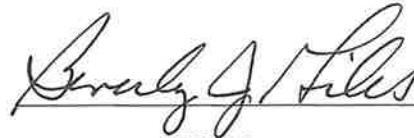
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2. As required by Miss. Code Ann. § 19-25-74, the Lafayette County Sheriff's Department maintains a log, showing the name of each prisoner, the date and time of incarceration and release, to be posted daily, which shall record the number of meals served to prisoners at each mealtime, and the hours of the day served (the "meal log").
3. I have reviewed invoice numbers 200ABS100005743 and 200ABS100006235 from Summit Foods in the amount of \$8,178.89 and \$8,477.04. These invoices are for the feeding of prisoners from 08/08/2026 to 08/21/2026.
4. To the best of my knowledge, I find this invoice to be a true and correct match to the meal log in accordance with Mississippi Code Annotated § 19-25-74.
5. The meal log is being stored in the County Administrator's office and can be reviewed at any time.

Dated: 08/27/2026



Johnny McDonald

Sworn and subscribed before me this the 27th day of August, 2026.



NOTARY PUBLIC

My commission expires:

September 23, 2026



5. Approve claims docket for claim numbers .

New Business

6. Consent Agenda:
 - a) Spread on the minutes monthly statement for Regions card. (Kate Victor)



Visa® Business

LAFAYETTE CTY SHERIFF DE
JOSEPH B EAST

Account Number Ending In 7375
Jul 18 - Aug 17, 2026

Individual Account Summary

Page 1 of 4

Credit Limit	\$16,500	Previous Balance	\$890.08
Available Credit	\$16,039	Payments	-
Billing Date	08/17/26	Credits	-
Days in Billing Cycle	31	Purchases/Other	\$0.00
Payment Due Date	09/13/26	Debits/Other Fees	+
Minimum Payment Due	\$10.00	Cash Advances	+
		Interest Charges	+
		Late Fees	+
		New Balance	\$461.38

To ensure the proper credit, please include the payment coupon from this statement with your check. Failure to include this coupon can result in delayed processing and a late payment fee.

Interest Charges

Your Annual Percentage Rate (APR) is the annual interest rate on your account.

Type of Balance	Periodic Rate	Annual Percentage Rate (APR)	Balance Subject to Interest Rate	Interest Charge
PURCHASES	0.04587% (d)	16.740% (v)	\$0.00	\$0.00
(d) Daily Periodic Rate (m) Monthly Periodic Rate (v) Variable Rate				

001
220
552
\$160.59

001
200
\$300.79

Account Inquiries

Visit us online at www.regions.com	Call Customer Service, for Billing Inquiries or to Report a Lost or Stolen Card 1-800-253-2265 TTY 1-800-374-5791	Send Billing Inquiries To : P.O. BOX 216 BIRMINGHAM, AL 35201-0216	Mail Payments To : PO BOX 71075 CHARLOTTE, NC 28272-1075
---------------------------------------	---	--	--

DETACH HERE: to ensure the proper credit, please include lower portion with your payment.

1075000220110689076100046138000010002

REGIONS BANK
P.O. BOX 11007
BIRMINGHAM AL 35288-0001



REGIONS

REGIONS CREDIT CARD COMMERCIAL
PO BOX 71075
CHARLOTTE NC 28272-1075

JOSEPH B EAST
LAFAYETTE CTY SHERIFF DE
PO BOX 1240
OXFORD MS 38655-1240

***0000789

Account Number Ending In 7375
Payment Due Date 09/13/26
Minimum Payment Due \$10.00
New Balance \$461.38
Amount Enclosed \$ 461.38

Make check or money order payable to:
Regions Bank

500 206 165 0 2 20 1 10689076 1 20

Cardholder Activity

Tran Date	Post Date	Category	Reference Number	Transactions	Amount
07/30	07/31	5817	24027626212067994265910	EVENT FEE ROCIC 35TH A 650-594-5955 CA	200.00 <i>investigat</i>
07/31	08/03	7011	24943006212477819053167	IP-MS ADV DEPOSIT 6014364555 MS Check in Date: 12/07/26 Daily Rate \$0.00 Taxes: \$0.00	100.79 <i>-S.D.</i>
08/05	08/06	5411	24445006218400107294795	WM SUPERCENTER #699 OXFORD MS	160.59 <i>-Jan</i>
08/07	08/10	0000	0020	PAYMENT - THANK YOU	890.08 CR ✓

ROCIC Confirmation: 35th Annual Homicide Conference - Lexington, KY

ROCIC Training <notify@eventleaf.com>
 Reply-To: <training@rocic.riss.net>
 To: <jwquarles@gmail.com>

Wed, Jul 29 at 10:36 AM



Joe Quarles,

Thank you for registering for the ROCIC 35th Annual Homicide Conference in Lexington, KY on September 27-30, 2026. This training is for law enforcement and prosecutorial personnel only, to include investigative and analytical support staff. **Law enforcement agency related ID / credentials will be required on-site at the conference in order to be admitted.**

CONFERENCE LOCATION / HOTEL ACCOMMODATIONS / PARKING:

Conference registration and all presentations will be held at the Marriott Lexington Griffin Gate Golf Resort & Spa, 1800 Newton Pike, Lexington, KY 40511. Book early to receive the ROCIC discounted rate of \$169 + tax per night which includes parking. Hotel reservation cutoff date is August 28, 2026, or until the room block is full, whichever comes first.

CLICK HERE TO BOOK YOUR ROOM AT THE MARRIOTT LEXINGTON GRIFFIN GATE

Refund policy: All refund requests must be made in writing by agency email with signature line, and received by September 27th, 2026 to receive a full refund for registration fees. Please see the website for refund details and email ROCIC Training at training@rocic.riss.net with any refund requests. No refunds will be issued after the start of conference on September 27th.

The schedule, agenda, and other conference information will be

updated on the **ROCIC Fall Conference Website**. Bookmark this website on your phone or desktop for easy access! For further information or to check the status of your registration, please contact ROCIC Training at training@rocic.riss.net.

We look forward to seeing you in Lexington!



ROCIC 35th Annual Homicide Conference

Sep 27, 2026 3:00 PM | Marriott Lexington Griffin Gate
Golf Resort & Spa, 1800 Newtown Pike, Lexington, KY
40511



Code: CONF2026MISC

Jane Quarles

jwquarles@gmail.com

Download App

Download the Eventful Guide App for iOS, Android, or Windows to view schedules, engage with presenters, participate in polls, and receive updates.



Attendee Portal

View event details, join Q&A and polls, give feedback, or manage your registration online.

ACCESS ATTENDEE PORTAL

Add to Calendar: iCalendar | Google | Outlook | Outlook.com | Yahoo

Book Your Room Now!

Looking for accommodations? View the list of suggested hotels in the area.

MANHATTAN SHIPPING DATE BOOKING LINK

Registration Summary

OPTION GROUP	OPTION	PRICE	SUBTOTAL
Registration Options	Attendee	200.00 USD	200.00 USD
		TOTAL	200.00 USD

Payment History

DATE	TRANSACTION	AMOUNT	CURRENT BALANCE
Jul 29, 2026 11:36 AM	Order Placed	200.00 USD	200.00 USD
Jul 29, 2026 11:36 AM	Payment Processed (x7375)	-200.00 USD	0.00 USD
		BALANCE	0.00 USD

Registration Type

Attendee

Attendee Information

Agency Name

Lafayette County Sheriff Office

Agency City

Oxford

State

MS

Agency Phone

6628322166

Title

Lt.

First Name

Joe

Last Name

Quarles

Email

jwquarles@gmail.com

Mobile Phone

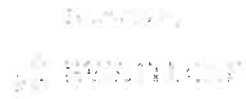
6628018797

Comments

Cancellation Policy

Refund policy: All refund requests must be made by email from your agency email address, and must include your signature line. All requests must be received by September 27, 2026 to receive a refund for registration fees. Please email ROCIC Training at training@rocic.riss.net with any refund requests. No refunds will be

issued after the start of conference on September 27th.



303 Twin Dolphin Dr. Fl 6 - Redwood City - CA - 94065

www.303twin.com

Confirmation.pdf

Anne M. Conerly

From: Alicia Watts
Sent: Tuesday, August 4, 2026 10:34 AM
To: Purchasing Accountspayable
Subject: FW: IP Casino Resort Spa Reservation Confirmation

SO card



Alicia M. Watts

From: Joey East <jeast@lafayettesheriff.net>
Sent: Tuesday, August 4, 2026 10:22 AM
To: Alicia Watts <AMWatts@lafayettesheriff.net>
Subject: FW: IP Casino Resort Spa Reservation Confirmation

From: IP Casino Resort Spa <donotreply@boydgamingmail.com>
Sent: Tuesday, August 4, 2026 10:20 AM
To: JOSEPH EAST
Subject: IP Casino Resort Spa Reservation Confirmation

You don't often get email from donotreply@boydgamingmail.com. [Learn why this is important...](#)

IP Casino Resort Spa Reservation Confirmation



Casino • Resort • Spa



CONFIRMATION INFORMATION

Dear JOSEPH EAST

Please take a moment to review your reservation information below. You can make changes to this reservation by calling 877-335-4831.

Here are your reservation details:

Name:	JOSEPH EAST
Confirmation Number:	QTHM5
Arrival Date:	Monday, 12/07/2026
Departure Date:	Thursday, 12/10/2026
Check-in Time:	04:00 PM
Check-out Time:	11:00 AM
Number of Nights:	3
Number of Rooms:	1
Room Type:	IP/D1
Room Description:	DLX KING NONSMK

Please note a refundable deposit equal to the first nights' room and tax will be charged on your credit card at the time of booking to guarantee your reservation. Cancellations must be made at least 24 hours prior to arrival to avoid forfeiting the deposit amount unless a non-refundable offer is booked, then no refund is provided. Packages, offers and special events may require different deposits and cancellation periods. \$100 authorization is required at check-in. Reservations are non-transferrable. Rates do not include the nightly resort fee of \$20.33 (tax included) which will be charged at check-in. If tax exempt, please present tax exemption form at check-in. Tax collected will be applied to balance and or refunded.

Reservation Information

Stay Total:	269.97
Stay Tax:	32.40
Stay Total w/Tax:	302.37

Deposit Received: 100.79

Date	Rate	Nights
12/07/26	100.79	3

This is an automated message. Please call 877-335-4831 if you have any questions or would like to make changes to your reservation.



IP Casino Resort Spa - Biloxi
 850 Bayview Avenue • Biloxi, MS 39530
ipbiloxi.boydgaming.com
 1-888-946-2847

Copyright © Boyd Gaming. All rights reserved. [Privacy](#) | [Responsible Gaming](#)
 Gambling Problem? Call 1-800-GAMBLER

Give us feedback @ survey.walmart.com
Thank you! ID #:7WSWHS7KSOC



WM Supercenter
662-234-9131 Mgr. EMERT
2530 JACKSON AVE W
OXFORD MS 38655
ST# 00699 OP# 009044 TE# 44 TR# 04169

ITEMS SOLD 15
TC# 5126 4945 5988 1411 6833 4



CMND PIC HNG	051141320860	3.84 X
CMND STRIPS	051131792680	3.57 X
PKG TAPE	075353149200	3.98 X
50CT NEEDLES	194346270640	6.97 X
50CT NEEDLES	194346270640	6.97 X
30G 200CT	681131098850 H	3.34 X
50CT NEEDLES	194346270640	6.97 X
30G 200CT	681131098850 H	3.34 X
30G 200CT	681131098850 H	3.34 X
PRIME TS 100	681131078220 H	17.96 X
PRIME TS 100	681131078220 H	17.96 X
PRIME TS 100	681131078220 H	17.96 X
PRIME TS 100	681131078220 H	17.96 X
PRIME TS 100	681131078220 H	17.96 X
PRIME TS 100	681131078220 H	17.96 X

SUBTOTAL	150.08
TAX1 7.0000 %	10.51
TOTAL	160.59
VISA TEND	160.59
CHANGE DUE	0.00

VISA CREDIT- 7375 I 2 APPR#04160G
160.59 TOTAL PURCHASE
REF # UKLSV7174293
TRANS ID - 346217529565317
VALIDATION - KPFV
PAYMENT SERVICE - E
AID A0000000031010
TERMINAL # 22039187
*No Signature Required
08/05/26 09:42:36



Get Free Delivery
from this store
with Walmart+

Scan to start a trial

Low prices You Can Trust. Every Day.

08/05/26 09:42:41

***** RETURN & EXCHANGE POLICY *****

All diabetic testing supplies
including meters,

lancets, strips, syringes are not
returnable.

All sales are final.

- b) Adopt resolution acknowledging the ninety-day delinquency list for solid waste accounts per section MS Code Section 19-5-22. (Kate Victor)

RESOLUTION

Upon Motion, Second, and by unanimous vote, a quorum being present, the following Resolution was adopted:

BE IT RESOLVED, pursuant to Senate Bill 2392 (2023), that amended, M.C.A., Section 19-5-22, the Lafayette County Board of Supervisors acknowledges the attached ninety (90) delinquency list ("Delinquency Notice") of its solid waste accounts, and shall provide a copy of this Resolution and attached Delinquency Notice to the Lafayette County Tax Collector no later than the tenth (10th) of this month, to be updated each succeeding month; further, that upon receipt of this Delinquency Notice, the County Tax Collector shall not issue nor renew a motor vehicle road and bridge privilege license for any motor vehicle owned by a person who is delinquent in the payment of their solid waste fees assessed and acknowledged by this Board.

Further, a copy of this Resolution and Delinquency Notice shall be transmitted to the Lafayette County Chancery Clerk, by electronic and other means as appropriate, to permit filing of any liens created by Section 19-5-22 pursuant to Section 1, (6) of the Statute.

Supervisor _____ voted _____

Supervisor _____ voted _____

Supervisor _____ voted _____

Supervisor _____ voted _____

Supervisor _____ voted _____

This the 8th day of September, 2026.

Board President

Attest: _____
Clerk of the Board

c) Approve deletion of fixed assets from inventory. (Kate Victor)

LAFAYETTE COUNTY

CAPITAL ASSET DELETION FORM

DATE:

9/2/2026

DEPARTMENT:

Board of Supervisors

DESCRIPTION OF ITEM DELETING (INCLUDING BRAND NAME):

Ipad - Dist 3

LOCATION:

MODEL NUMBER:

SERIAL NUMBER:

6626070779

STICKER NUMBER:

100533

REASON FOR DELETION:

SIGNATURE OF DEPARTMENT HEAD

COUNTY ADMINISTRATOR

DATE

DATE

FOR INVENTORY CLERK ONLY

Retirement has been approved on the Board Minutes:

Retirement has been entered on Ledger:

Inventory Number:

Minute Book Number & Page:

IF ASSET SOLD, TRADED, OR JUNKED

Sold/Traded To:

Amount Received:

Receipt Number:

Junked-Received By:

THE ABOVE INVENTORY CONTROL INFORMATION IS TRUE AND CORRECT

LAFAYETTE COUNTY

CAPITAL ASSET DELETION FORM

DATE: 8/20/26
DEPARTMENT: LAFAYETTE COUNTY CIRCUIT COURT

DESCRIPTION OF ITEM DELETING (INCLUDING BRAND NAME):
COMPUTER

LOCATION: CIRCUIT CLERK'S OFFICE - FRONT DESK - CIVIL SIDE

STICKER NUMBER: 102672
MODEL NUMBER: _____
SERIAL NUMBER: _____
STICKER NUMBER: _____
SERIAL NUMBER: _____



REASON FOR DELETION: _____
BROKEN

Jeff Busby
SIGNATURE OF DEPARTMENT HEAD
Chuma Smarr
Kelvin
COUNTY ADMINISTRATOR

8/20/26
DATE
8/31/26
DATE

FOR INVENTORY CLERK ONLY

Retirement has been approved on the Board Minutes: _____
Retirement has been entered on Ledger: _____
Inventory Number: 102672
Minute Book Number & Page: _____

IF ASSET SOLD, TRADED, OR JUNKED

Sold/Traded To: _____
Amount Received: _____
Receipt Number: _____
Junked-Received By: _____

THE ABOVE INVENTORY CONTROL INFORMATION IS TRUE AND CORRECT

LAFAYETTE COUNTY

CAPITAL ASSET DELETION FORM

DATE: 8/28/26
DEPARTMENT: Tax Assessor Collector

DESCRIPTION OF ITEM DELETING (INCLUDING BRAND NAME):
HP Laserjet Printer

LOCATION: Tax Assessor Office

MODEL NUMBER: LaserJet Enterprise M607
SERIAL NUMBER: CNBC101HDG
STICKER NUMBER: 105566

REASON FOR DELETION: UNIT IN DISREPAIR; REPLACEMENT COST LESS THAN REPAIR COS


SIGNATURE OF DEPARTMENT HEAD

August 28, 2026
DATE


COUNTY ADMINISTRATOR

8/31/26
DATE

FOR INVENTORY CLERK ONLY

Retirement has been approved on the Board Minutes:
Retirment has been entered on Ledger:
Inventory Number:
Minute Book Number & Page:

105566

IF ASSET SOLD, TRADED, OR JUNKED

Sold/Traded To:
Amount Received:
Receipt Number:
Junked-Received By:

THE ABOVE INVENTORY CONTROL INFORMATION IS TRUE AND CORRECT

LAFAYETTE COUNTY

CAPITAL ASSET DELETION FORM

DATE: 8/31/26
DEPARTMENT: LAFAYETTE COUNTY CIRCUIT COURT

DESCRIPTION OF ITEM DELETING (INCLUDING BRAND NAME):
DELL COMPUTER / MONITOR / SPEAKERS

LOCATION: CIRCUIT CLERK'S OFFICE - PUBLIC ACCESS TERMINAL

STICKER NUMBER: 102614

MODEL NUMBER: _____

SERIAL NUMBER: _____

STICKER NUMBER: _____

SERIAL NUMBER: _____



REASON FOR DELETION: _____
BROKEN - VERY OLD

Jeff Busby
SIGNATURE OF DEPARTMENT HEAD
By: Emma Simon, DC
Kel Vio
COUNTY ADMINISTRATOR

8/31/2026
DATE

8/31/26
DATE

FOR INVENTORY CLERK ONLY

Retirement has been approved on the Board Minutes: _____
Retirment has been entered on Ledger: _____
Inventory Number: 102614
Minute Book Number & Page: _____

IF ASSET SOLD, TRADED, OR JUNKED

Sold/Traded To: _____
Amount Received: _____
Receipt Number: _____
Junked-Received By: _____

THE ABOVE INVENTORY CONTROL INFORMATION IS TRUE AND CORRECT

d) Approve recapitulation of assessments of real & personal property. (Mike Roberts)

20 26

RECAPITULATION OF ASSESSMENTS OF REAL AND PERSONAL PROPERTY OF

Lafayette

COUNTY, STATE OF MISSISSIPPI

as of the first day of January, 20 26 as shown by the Rolls therefore, made by the assessor of said County; equalized by the Board of Supervisors of said County at its

August 17, 20 26 meeting; and further equalized and corrected, fixed, revised

and perfected, by said Board at its August 17, 20 26 meeting, after considering all objections made thereto; (said rolls being on file in the office of the Clerk of

said Board in the City of Oxford in said County), to-wit:

CLASSES OF PERSONAL PROPERTY 20				INDUSTRIES Subject to Sec 27-39-329 and School Tax	
Use Whole numbers to complete this form	1 True Value of all Properties Reflected	Ratio %	2 Assessed Valuation	3 DO NOT INCLUDE THIS VALUE IN	
A. Automobiles	401,195,536	30%	120,358,661	A	
B. Mobile Homes	16,897,620	15%	2,534,643	B	
1. Furniture & Fixtures	135,689,701	15%	20,352,582	1	874
2. Machinery & Equipment	138,762,575	15%	20,447,889	2	366,498
3. Leased Equipment	54,036,698	15%	8,105,505	3	
4. Inventories	138,380,669	15%	20,751,247	4	5,854
5. Banks (Intangibles Only)	2,222	15%	334	5	
6. In Lieu (27-31-104)	209	15%	32	6	
7. Miscellaneous	184		28	7	
8. Manufactured Products (Subject to 27-31-7 & 57-10-255)				8	
C. Grand Total	884,965,414		192,550,921	C	373,226
D. Total Subject to Levee Tax				D	
Total Number of Real Property Parcels Assessed			1851		

CLASSES OF REAL PROPERTY - 20 26				INDUSTRIES Subject to Sec 27-39-329 and School Tax	
Class of Land	True Value of all Properties Reflected in Columns 2 and 3	Ratio (%)	Assessed Valuation	3 DO NOT INCLUDE THIS VALUE IN COLUMN 2	
1. Class 1 lands	482,046,670	10%	48,204,667	1	
2. Class 1 Improvements	2,697,415,240	10%	269,741,524	2	
3. Cultivable Lands (excluding improvements)	138,252,570	15%	20,737,886	3	
4. Building & Improvements on County Lands	640,738,870	15%	96,110,831	4	
5. Uncultivable lands (excluding improvements & timber)	65,413,740	15%	9,812,061	5	
6. Real estate in cities, towns, & villages	781,764,770	15%	117,264,716	6	
7. Buildings & Improvements thereon	2,670,240,990	15%	400,536,149	7	
8. In Lieu (27-31-104)				8	
A. Total Valuation subject to tax	7,475,872,850		962,407,834	A	0
B. Total acreage subject to tax				No. of Acres	
				B	306,097
9. U.S. Government Land				9	101,197
10. Exempt land & school land				10	3,649
11. State, County, Municipal land				11	2,105
12. Acres assessed by tax commission				12	
C. TOTAL LAND IN COUNTY				C	413,047
D. Lands subject to levee taxes				D	
Total Number of Real Property Parcels Assessed			34981		

CERTIFICATE OF BOARD OF SUPERVISORS

To the Department of Revenue of the State of Mississippi:

In compliance with the requirements of Section 27-35-111, Miss. Code Ann., we the undersigned, constituting the Board of Supervisors of Lafayette County, State of Mississippi, do hereby certify: that we have, this day carefully compared the recapitulations appearing on the reverse side hereof with the assessment rolls of real and personal property, as of the first day of January 20 26; that said recapitulations contain true, correct and complete statements of the final total of said roll as finally fixed and revised by said Board at its August seventeenth, 20 26 meeting; that said recapitulations are in all things true and complete, and are hereby transmitted in good faith to comply with the requirements of said section.

Witness our signatures, this the 8th day of September, 20 26.

THE BOARD OF SUPERVISORS OF SAID COUNTY

By _____
President and Member from District No. 1

By _____	By _____
Member from District No. _____	Member from District No. _____
By _____	By _____
Member from District No. _____	Member from District No. _____

CERTIFICATE OF CHANCERY CLERK

STATE OF MISSISSIPPI
County of Lafayette

I, the undersigned, Clerk of the Chancery Court of Lafayette County, State of Mississippi and *Ex-Officio* Clerk of the Board of Supervisors of said County do hereby certify:

That I have carefully verified the footings of the pages and recapitulations of the rolls of assessments of the real and personal property of said County as of the first day of January, 20 26, and have carefully compiled the foregoing statements appearing on the reverse side hereof, that said statements are true, correct and complete statements of the final totals of the quantities of said rolls, as finally equalized, fixed, corrected, revised and perfected by the said Board of Supervisors at the August seventeenth, 20 26 meeting and that said statements are in all things true, correct and complete recapitulations of said rolls; and I do hereby further certify that the foregoing are the signatures of the members of the said Board of Supervisors.

Witness my hand and seal of office, this the 8th day of September, 20 26.

Clerk, Board of Supervisors

(SEAL)

-Do not write below this line-

ORDER OF THE DEPARTMENT OF REVENUE

It appears to the satisfaction of the Department of Revenue of the State of Mississippi, after visiting the said county of this State, conferring with the Assessor thereof and studying the values of the various classes of properties therein, the economic conditions thereof and the methods employed by the Assessor and Supervisors in making and equalizing the assessments, thereof, and after making a careful examination of the recapitulation of the assessment rolls of Real and Personal Property of _____ County for the tax year 20____, as shown by the foregoing statements (appearing on the reverse side hereof) that they are reasonably equal and uniform with the assessments of the other counties of the state, as approved or as changed by the orders of the Department of Revenue.

IT IS THEREFORE, ORDERED, that said assessment rolls and the assessments therein contained by and are hereby approved, and the Board of Supervisors of said County are hereby directed to have copies of said rolls made and certified to the Tax Collector and to the Department of Revenue in accordance with the requirements of Section 27-35-123, Miss. Code Ann., and, it is further ordered that the Commissioner of Revenue be and he is hereby directed to certify a copy of this order to the President of the Board of Supervisors of said County.

Ordered and adjudged, this the _____ day of _____, 20 ____.

CERTIFICATE OF THE DEPARTMENT OF REVENUE

As Commissioner of Revenue of the State of Mississippi, I do hereby certify that the above and foregoing is a true and correct copy of an order of the Department of Revenue adopted on the date therein stated, and as shown in the Minutes of the said Department of Revenue.

Witness my signature this the _____ day of _____, 20 ____.

Commissioner of Revenue

Order not valid without signature of the Commissioner of Revenue

20 26

CLERK'S CERTIFICATE OF COPY OF THE LAND ROLL

The State of Mississippi, Lafayette County, City of
Oxford, Office of the Clerk of the Board of Supervisors of said County:

I, Mike Roberts, the Clerk of the Board of Supervisors of said County do hereby
certify:

1) That the foregoing pages contain a fair and correct copy of the assessment roll of real property of said county as of the first day of January, 20 26 now on file in said office as finally fixed by said Board. 2) That I have carefully made all of the footings and other calculations of said roll. 3) That said footings and other calculations are, in all things true, correct, and complete. 4) That the following are the true, correct and complete totals of said roll, in its entirety appearing in the final Recapitulation on Page _____ to-wit:

Real Property 20 <u>26</u>				INDUSTRIES Subject to Sec 27-39- 329 and School Tax		
Real Property	1 True Value of all Properties Reflected in Columns 2 and 3	Ratio (%)	2 Assessed Valuation (Use whole dollars no cents)	3 DO NOT INCLUDE THIS VALUE IN COLUMN 2		No. Acres
1. Class 1 Lands	482,046,670	10%	48,204,667	1.		
2. Class 1 Improvements	2,697,415,240	10%	269,741,524	2.		
3. Cultivable Lands (excluding improvements)	138,252,570	15%	20,737,886	3.		
4. Building & Improvements on County Lands	640,738,870	15%	96,110,831	4.		
5. Uncultivable Lands (excluding improvements & timber)	65,413,740	15%	9,812,061	5.		
6. Real estate in cities, towns & villages	781,764,770	15%	117,264,716	6.		
7. Buildings & Improvements thereon	2,670,240,990	15%	400,536,149	7.		
8. In Lieu (27-31-104)				8.		
A. Total valuation subject to tax	7,475,872,850		962,407,834	A. 0		
B. Total acreage subject to tax						B. 306,097
9. U.S. Government Land						9.
10. Exempt land & school land						10.
11. State, County, Municipal Land						11.
12. Acres assessed by Commission						12.
C. TOTAL LAND IN COUNTY						C. 306,097
D. Lands subject to levee taxes						D.

Total Number of Real Property Parcels Assessed 34,981

Witness my hand and seal of said office, this 8th day of September, 20 26.

_____, Clerk

By _____, Deputy Clerk

(TO THE CLERK-This certificate should be accurately, fully and properly filled in and signed. Seal should be affixed. It should then be pasted on the inside of the back cover of the copy of the roll.)

20 26

CLERK'S CERTIFICATE OF COPY OF THE PERSONAL ROLL

The State of Mississippi, Lafayette County, City of
Oxford, Office of the Clerk of the Board of Supervisors of said County:

I, Mike Roberts, the Clerk of the Board of Supervisors of said County do hereby
certify:

1) That the foregoing pages contain a fair and correct copy of the assessment roll of persons and personal property of said county as of the first day of January, 20 26 now on file in said office as finally fixed by said Board. 2) That I have carefully made all of the footings and other calculations of said roll. 3) That said footings and other calculations are, in all things true, correct, and complete. 4) That the following are the true, correct and complete totals of said roll, in its entirety appearing in the final Recapitulation on Page _____ to-wit:

Personal Property 20 <u>26</u>				INDUSTRIES Subject to Sec 27-39-329 and School Tax		
Personal Property	1 True Value of all Properties Reflected in Columns 2 and 3	Ratio %	2 Assessed Valuation (Use whole dollars no cents)	3 DO NOT INCLUDE THIS VALUE IN COLUMN 2		Mfg. Products (School Tax Only)
A. Automobiles	401,195,536	30%	120,358,661	A.		
B. Mobile Homes	16,897,620	15%	2,534,643	B.		
1. Furniture & Fixtures	135,689,701	15%	20,352,582	1.	874	
2. Machinery & Equipment	138,762,575	15%	20,447,889	2.	366,498	
3. Leased Equipment	54,036,698	15%	8,105,505	3.		
4. Inventories	138,380,669	15%	20,751,247	4.	5,854	
5. Banks (Intangibles Only)	2,222	15%	334	5.		
6. In Lieu (27-31-104)	209	15%	32	6.		
7. Miscellaneous	184		28	7.		
8. Manufactured Products (Subject to 27-31-7 & 57- 10-255)						8.
C. Grand Total	884,965,414		192,550,921	C.	373,226	0
D. Total Subject to Levee Tax				D.		

Total Number of Personal Property Parcels Assessed 1,851

Witness my hand and seal of said office, this 8th day of September, 20 26

_____, Clerk

By _____, Deputy Clerk

(TO THE CLERK-This certificate should be accurately, fully and properly filled in and signed. Seal should be affixed. It should then be pasted on the inside of the back cover of the copy of the roll.)

ASSESSED VALUATION OF MOTOR VEHICLES AND MOBILE HOME

	MOTOR VEHICLE VALUES	MOBILE HOME VALUES
County Total	<u>120,358,661</u>	<u>2,534,643</u>
School Districts:		
<u>City</u>	<u>47,201,946</u>	<u>85,264</u>
<u>Oxford Sep</u>	<u>30,660,886</u>	<u>526,407</u>
<u>County</u>	<u>42,407,968</u>	<u>1,916,617</u>
<u>Water Valley</u>	<u>87,861</u>	<u>6,355</u>
Total School District:	<u>120,358,661</u>	<u>2,534,643</u>
Road Districts: Beats ☐ Unit ☒		
<u>1 - Larson</u>	<u>23,769,293</u>	<u>497,922</u>
<u>2 - Morgan</u>	<u>31,533,427</u>	<u>366,518</u>
<u>3 - Gordon</u>	<u>26,848,164</u>	<u>874,218</u>
<u>4 - Allen</u>	<u>24,638,693</u>	<u>501,116</u>
<u>5 - Bynum</u>	<u>13,569,084</u>	<u>294,869</u>
Total Road Districts:	<u>120,358,661</u>	<u>2,534,643</u>

WITNESS my hand and seal of said office, this the 8th day of September, 2026.

_____, Clerk

(To the Clerk: This certificate should be accurately, fully and properly filled in and signed. Seal should be affixed. It should then be placed in the Tax Commission's copy of the personal roll.)

- e) Spread on the minutes payment to Chancery Clerk for August term of court. (Mike Roberts)

REGULAR AUGUST TERM, 2026

IN THE CHANCERY COURT OF LAFAYETTE COUNTY, MISSISSIPPI

REGULAR AUGUST 2026 TERM

ORDER APPROVING THE ACTIONS OF CHANCERY
COURT CLERK DONE AND PERFORMED IN VACATION

The minutes of the Court as kept by the Clerk of the Chancery Court of Lafayette County, Mississippi, including those signed and entered by him and including all bonds taken and approved by him have now been carefully examined and reviewed.

It appears to the Court that all of the acts of the Clerk, including the entry of vacation judgments and decrees, rendered by this Court, those signed and entered by him, all bonds taken and approved by him in term time or in vacation, are all in due and proper form and amounts and are fully and properly entered and recorded upon the official minutes of this Court and the same should now be approved, subject to the following exceptions:

IT IS, THEREFORE, ORDERED AND ADJUDGED that all of the Chancery Clerk's acts in vacation, including the entry of all vacation judgments, orders and decrees rendered by this Court, all orders and decrees signed and entered by the Clerk during vacation, and all bonds taken and approved by him in term time and in vacation, are in due and proper form and amounts as required by law, and all of the same are hereby approved by the Court as is required by Section 9-5-153, Mississippi Code of 1972.

ORDERED, ADJUDGED AND DECREED, this the 27 day of August, 2026.


CHANCELLOR

SCANNED

REGULAR AUGUST TERM, 2026

RE: IN THE MATTER OF THE ALLOWANCES FOR OFFICERS OF
THE COURT FOR SERVICES RENDERED IN THE AUGUST TERM,
2026 OF THE CHANCERY COURT OF LAFAYETTE COUNTY,
MISSISSIPPI

IT IS HEREBY ORDERED, ADJUDGED AND DECREED, that the following named officers
and employees of the Court are hereby allowed the amounts specified below, rendered at the
REGULAR, AUGUST 2026, TERM of this Court and otherwise, as indicated below, to wit:

- | | |
|---|-------------|
| (1) Mike Roberts , Chancery Clerk attendance during this term for 4
days FOR THE FIRST CHANCELLOR sitting, for himself and
2 deputies at \$85.00 each, as authorized by Section 25-7-9(h),
Mississippi Code of 1972, as amended----- | \$ 1,020.00 |
| (2) Mike Roberts , Chancery Clerk, attendance during this term for 0
days FOR SECOND CHANCELLOR sitting, for the clerk only,
at \$85.00, as authorized by Section 25-7-9(h), Mississippi Code
Of 1972, as amended----- | \$ 0 |
| (3) Mike Roberts , Chancery Clerk, attendance for 54 days during
VACATION COURT for himself and 2 deputies for one (First)
Chancellors sitting at \$85.00 each, as authorized by Section 25-7-9(h),
Mississippi Code of 1972, as amended----- | \$13,770.00 |
| (4) Mike Roberts Chancery Clerk and two deputies for 5 days for
Getting up the records for this term, at \$85.00 each, and limited
to five (5) days, as authorized by Section 25-7-9(i), Mississippi
Code of 1972, as amended----- | \$ 1,275.00 |

GRAND TOTAL \$16,065.00

SO ORDERED, ADJUDGED AND DECREED, this the 27th of August, 2026.


CHANCELLOR

f) Spread on the minutes statement of Tax Loss Reimbursement for 2025. (Mike Roberts)

Tax Loss Reimbursement

— DEPARTMENT OF —
REVENUE
STATE OF MISSISSIPPI



SHERRY J. WALL
LAFAYETTE CO BOARD OF SUPERVISORS
PO BOX 1240
OXFORD MS 38655-1240

Date: September 01, 2026
Letter ID: L0146615456
Period: December 31, 2025
Account #: 1027-8652

LAFAYETTE COUNTY
Chancery Clerk
7000003582

An itemized statement of Tax Loss Reimbursement distribution to your county has been made for tax losses sustained because of the exemptions provided in Section 27-33-67 (2) Mississippi Code, 1972, Annotated, as shown below:

If you have any questions please call 601-923-7618.

Talina Matthews, Director
Homestead Exemption Department

Jurisdiction	Exempt Assessed Value	Application Count	Tax Loss Certificates	September Payment
LAFAYETTE COUNTY - HOMESTEAD	\$0.00	11359	\$567,950.00	\$284,150.00
LAFAYETTE COUNTY SCHOOLS	\$0.00	5057	\$252,850.00	\$126,475.00
OXFORD SCHOOL DISTRICT	\$0.00	6302	\$315,100.00	\$157,675.00
TAYLOR	\$852,003.00	73	\$3,758.12	\$1,879.06
ABBEVILLE	\$452,343.00	48	\$2,382.43	\$1,191.21
OXFORD	\$20,048,351.00	1460	\$287,220.51	\$143,710.26

P.O. Box 1033, Jackson, MS 39215 Phone: (601) 923-7700 Fax: (601) 923-7714

Form # 10001 v. V10

Visit www.dor.ms.gov for tax information and online filing. If you call, please have this letter with you.

g) Approve amendment to Summit Foods agreement. (Sheriff Joey East)

AMENDMENT #2 TO THE FOOD SERVICE AGREEMENT

This Amendment is made and entered into by and between Lafayette County Detention Center ("Client"), and Summit Food Service, LLC ("Company") (collectively "the Parties").

WHEREAS, the Parties have entered into a certain FOOD SERVICE AGREEMENT (the "Agreement"), effective August 1, 2022;

WHEREAS, the Parties have agreed to extend the Agreement with a pricing adjustment ; and

WHEREAS, the Parties now desire to amend said Agreement upon the terms and conditions stated herein.

NOW, THEREFORE, the Parties, intending to be legally bound hereby, mutually agree as follows:

1. **Term.** This Agreement shall be extended for an additional year beginning August 1, 2024. Per section 1.2 of the Agreement, the term shall automatically renew for additional one-year periods thereafter unless terminated per the Agreement.
2. **Payment Arrangement.** Per section 7.5 of the Agreement, pricing at section 7.1.A. shall be amended to reflect that Company shall charge per the following scale:

Daily Inmate Population	Current Price	CPI %	New Price
Less than 90	TBN	---	TBN
91 – 100	\$2.654	3.0%	\$2.734
2.5798	\$2.504	3.0%	\$2.579
111 – 120	\$2.379	3.0%	\$2.452
121 – 130	\$2.275	3.0%	\$2.343
131 – 140	\$2.186	3.0%	\$2.252
141 – 150	\$2.109	3.0%	\$2.173
151 – 160	\$2.054	3.0%	\$2.116
161 – 1000	\$2.006	3.0%	\$2.066
Religious Meals	\$4.635	3.0%	\$4.774

3. **Payments Due Dates, Method and Late Payment Penalty.** Section 7.2 of the Agreement shall be modified to include the following language:
Any change of banking information or change in the method of monies being transmitted or received shall be documented in hard copy (printed on paper) and delivered by hand, via certified or registered mail return receipt requested, or by overnight delivery service with a receipt of delivery, provided that such delivery is to the parties per Notice. In the alternative, the Company, at its discretion, may request verification by phone of any change of banking information or change in the method of monies being transmitted or received.

This Amendment is effective as of August 1, 2024. All other terms and conditions of the original Agreement (as modified from time to time) shall remain in full force and effect unless otherwise amended as provided in the Agreement.

CLIENT: Lafayette County Detention Center

COMPANY: Summit Food Service, LLC

Signature: _____

Name: _____

Title: _____

Date: _____

Signature: _____

Name: Brittany Mayer-Schuler

Title: President

Date: _____

- h) Authorize travel for two transport officers to attend Inmate Transport and Courtroom Security class on November 4th, 2026 in LaPlace, LA. (Sheriff Joey East)



Train for the Risks Beyond the Secure Perimeter

From Command Presence <cpnews@commandpresence.net>

Date Tue 8/11/2026 12:01 PM

To Scott Mills <smills@lafayettesheriff.net>

[View this email in your browser](#)



INMATE TRANSPORTS & COURTROOM SECURITY

November 4, 2026 | LaPlace, Louisiana

Inmate transport may be a routine assignment.

The risks aren't routine.

Once personnel leave the secure perimeter of a jail or prison, many of the security measures they rely on are gone.

Courthouses. Hospitals. Medical appointments. Vehicles. Public spaces.

In these uncontrolled environments, personnel must recreate security through **awareness, positioning, restraint application, documentation, and sound decision-making.**



SEE THE COURSE IN ACTION

Training for the Challenges Beyond the Secure Perimeter

Inmate Transports and Courtroom Security is an 8-hour, scenario-based course addressing the **tactical, legal, and administrative challenges** of maintaining the chain of custody outside a secure facility.

This course is designed for:

- ✅ Correctional officers assigned to or preparing for inmate transport duties
- ✅ Transport team members
- ✅ Line officers
- ✅ Court and hospital security personnel
- ✅ Supervisors supporting transport operations

Participants will develop a clearer understanding of the **risks, decision-making, and liability involved in maintaining custody outside a secure facility.**

JOIN US IN LAPLACE, LOUISIANA

Wednesday, November 4, 2026

8:00 AM–5:00 PM

Hosted by:

St. John Parish Sheriff's Office

Location:

Lloyd B. Johnson Law Enforcement Training Center
947 Cambridge Dr.
LaPlace, LA 70068

Tuition: \$229

 **Early Bird: \$199 through September 16**

 **Groups of 4+: \$199**

Secure Your Seat Today →

Register Now

Transport operations aren't simply about getting an inmate from Point A to Point B.

They require deliberate planning, awareness, professional judgment, and the ability to maintain control when the environment itself is no longer secure.

Prepare your personnel before the next transport begins.

Stay safe,

Stay Connected

Follow us on social media for tips, insights, and updates on future courses:

 [Facebook icon](#)

 [Instagram icon](#)

 [LinkedIn icon](#)

 [Email icon](#)

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Our mailing address is:

589 Palisade Dr., #111, Brunswick, GA 31523

Want to change how you receive these emails?

You can [update your preferences](#) or [unsubscribe](#)

- i) Spread on the minutes employment of part-time dispatcher. (Sheriff Joey East)
- j) Spread on minutes position change in Sheriff Department. (Sheriff Joey East)



Lafayette County
MISSISSIPPI

New Hire/Change in Position Form

Department: Lafayette County Sheriff Dept

Employee Name: Katherine Spears

☐ New Employee ☐ Existing

☐ Full Time ☒ Part Time

Current Salary: _____

Current Position: _____

New Salary: \$16.00

New Position: Dispatch

Effective Date of Hire: 9/18/2026

Signature of Department Head: Jay Williams

Date Board approved: _____



Lafayette County

MISSISSIPPI

New Hire/Change in Position Form

Department: Sheriff's Department

Employee Name: Josh Davis

☐ New Employee ☒ Existing

☒ Full Time ☐ Part Time

Current Salary: \$56,641.92 - won't change

Current Position: Deputy

New Salary: \$2,646.50

New Position: K-9 Deputy

Effective Date of Hire: 08/01/2026

Signature of Department Head: 

Date Board approved: _____

- k) Spread on the minutes 2025-2026 LEO Grant award to the Sherif Department in the amount of \$93,936.29 for the purchase of equipment. (Sheriff Joey East)



STATE OF MISSISSIPPI
TATE REEVES, GOVERNOR
DEPARTMENT OF PUBLIC SAFETY
SEAN J. TINDELL, COMMISSIONER

Lafayette County Sheriff Department
Joey East
711 Jackson Ave
Oxford, Mississippi 38655

It is my pleasure to inform you that your law enforcement grant application has been approved.

As a reminder, all projects are funded for one-time expenditures. Funding for continuous projects was not approved, and any subsequent discovery of ongoing payments will not be paid. Per grant policies, the grantee must pay the total cost for the approved project and request reimbursement for no more than 50% of the actual cost. Deadline for reimbursement request is February 28, 2027.

Please use the link below or go to www.dpsplus.ms, click the "LEO Grant Program" tab then the "Reimbursement Submission" to submit a copy of your paid invoice and other required information. Also use this form for documenting any written communication.

Document Submission for Reimbursement

Again, reimbursement will be for no more than 50% of the actual cost of the original submission. If the overall cost ends up being less than the original submission then the agency will be reimbursed for no more than half that lesser amount.

The grantee signatory certifies to be an employee of the submitting agency or entity hired by the agency to apply on its behalf for the Grant and bind the submitting agency. All parties have knowledge and approve all information and documentation. The signatory certifies the costs submitted and the submitted projects are in compliance with all state and/or federal laws and regulations. The signatory will immediately update and return any funds subsequently found to be unnecessary or otherwise not used or returned. By signing the applicant also agrees to submit, without objection, any audits of the grant funds.

Your 2025-26 LEO Grant Approval Number is: 2026009

Please see the attachment for details.

Questions regarding this grant program may be directed to the Mississippi Department of Public Safety Grant Staff:

Dana Thompson
Director of Financial Reporting and Grants
dana.thompson@dps.ms.gov
(601) 987-1310

Norman Dyess
Grants Manager
ndyess@dps.ms.gov
(601) 987-1306

Congratulations on your approval and your commitment to the safety of the citizens of Mississippi.

Sincerely,

Sean J. Tindell, Commissioner
Mississippi Department of Public Safety

Attachment 1	
Name of Agency	Lafayette County Sheriff Department
Grant Approval Number	2026009
Equipment 1	2025 G3 Bay 21 Boat with Trailer \$50,000 1 \$50,000
Equipment 2	Motorola Apx 6000 Portable Radio \$4,471.97 12 \$53,663.64
Equipment 3	Motorola Apx 8000 Portable Radio \$5,891.04 1 \$5,891.04
Equipment 4	Canon EOS Rebel Camera \$827.00 20 \$16,540.00
Equipment 5	Patrol Officers Duty Gear \$220.59 70 \$15,441.50
Equipment 6	Dell Pro Rugged Laptop \$2847.00 5 \$14,235.00
Other Expenses 1	Mobile Tech Equipment \$3,710.00 6 \$22,260.00
Other Expenses 2	Emergency First Aid Kits \$225.00 30 \$6,750.00
Other Expenses 3	Fire Extinguisher for Patrol \$58.13 50 \$2,906.50
Other Expenses 4	Jump Starter Box \$158.92 10 \$1,583.90
Other Expenses 5	Decked Truck Storage Drawer \$1,699.00 1 \$1,699.00
Other Expenses 6	Streamlight Flashlight for Patrol \$181.00 15 \$2,715.00
Total	\$ 187,872.58
Maximum DPS Reimbursement	\$ 93,936.29

- l) Appoint Peter Ross to the Olinc Board of Directors. (Kate Victor)
- m) Appoint Matt Bishop to Planning Commission. (Kate Victor)

- n) Travel authorization for Mary McCain, Tax Collector/Bookkeeper, to attend 2026 MACA Fall Conference in Natchez, MS on October 26th-October 29th, 2026. (Rocky Kennedy)

Kate Victor

From: Rocky Kennedy
Sent: Monday, August 24, 2026 11:43 AM
To: Kate Victor
Cc: Mary McCain
Subject: Agenda

Approve travel and reimbursement for Mary McCain, Tax Collector Bookkeeper, to attend 2026 MACA Fall Conference, Natchez, October 26th – October 29th, 2026. (Rocky Kennedy)



Rocky Kennedy
Tax Collector and Assessor

300 North Lamar Blvd. • Oxford, MS 38655
t: 662-234-6006
f: 662-238-7992
rkennedy@lafayettecoms.com
www.lafayetlelms.com



2026 MACA Fall Conference

Contact



Dr. Lauren Colby Nickels

Extension Specialist I

(662) 325-2596

laurencolby.nickels@msstate.edu



Dr. Jason Camp

Extension Specialist II

(662) 325-3141

jason.camp@msstate.edu

Dates & Locations

Date(s)

October 26–29, 2026

Location(s)

Natchez Convention Center
211 Main Street
Natchez, MS 39120

Category:

Tax Assessors/Collectors

- o) Travel authorization for County Administrator and Solid Waste Director to 2026 SWANA Fall Conference in Natchez on October 13-15th, 2026. (Kate Victor)

2026 Fall Conference

The Mississippi "Magnolia" Chapter of SWANA invites you to join us on the banks of the MS River for the 2026 SWANA Fall Conference at the Natchez Convention Center in Natchez, MS.

The conference will offer attendees a chance to learn from experts in the industry and regulatory communities on topics concerning the technical, practical, and regulatory aspects of successful solid waste management facilities. Our goal as always is to provide opportunities for learning and networking that would not be otherwise available to our membership and audience.



SWANA Safety

As the MS Chapter continues to provide our membership with training and educational opportunities through our conferences, we continue to stress the importance of safety in the solid waste management industry. We will try to provide important safety information at our conferences, but please let us know how we can better do so.

Also, please be sure to visit <https://swana.org/safety> for more safety tips and information.

#SWANASafety

Venue

**Natchez Convention Center
211 Main St
Natchez, MS 39120**

The conference will be held in historic downtown Natchez, MS
at the Natchez Convention Center directly across the street from
the Natchez Grand Hotel

Accommodations

**Natchez Grand Hotel
111 North Broadway St
Natchez, MS 39120**

A room block is available for conference attendees across the
street from the conference venue at the Natchez Grand Hotel.

Rates starting at \$145/night + tax, resort fees

Call 601-446-9994 or 1-866-488-0898
and refer to the SWANA Conference

OR

Go to <https://www.natchezgrandhotel.com/> and use code
"SWANA26" to secure your conference block rate.

Room block expires September 16, 2026

Attendee Registration

Name: _____

Company: _____

Address: _____

City, State, Zip: _____

Phone: _____ Fax: _____

E-Mail: _____

SWANA/AWMA Member #: _____

SWANA/AWMA Chapter: _____

Please select registration type:

☐

SWANA/AWMA Member \$450.00

☐

Non-Member \$500.00

☐

Additional sponsor or
exhibitor attendee \$400.00

All registration fees must be paid prior to start of conference.

Return Registration To: Shea Mask

Email: shea@resdisposal.com Fax: 662-837-9564

- p) Travel authorization or Supervisors, Board Attorney, and Road Manager to the 2026 MAS Fall Educational & Policy Development Workshop on October 13-October 15, 2026. (Kate Victor)



Tentative Agenda

Tuesday, October 13

1:00 PM – 4:00 PM	Registration
10:00 AM – 1:00 PM	'Meet and Greet' Exhibit Table Set up
1:00 PM – 4:00 PM	Connect with 'Meet and Greet' Exhibitors
2:30 PM – 4:30 PM	INSTITUTE EDUCATION CLASSES
4:30 PM – 6:00 PM	Workshop Kickoff Reception: Meet, Mingle, & Make Connections

Wednesday, October 14

7:00 AM – 8:15 AM	Breakfast
7:00 AM – 12:00 PM	Registration
7:00 AM – 1:00 PM	Connect with 'Meet and Greet' Exhibitors
8:15 AM – 12:00 PM	INSTITUTE EDUCATION CLASSES:
12:00 PM – 1:00 PM	Networking Lunch
1:30 PM – 4:00 PM	Local Interest Tours
4:30 PM - 6:00 PM	Sponsor & Exhibitor Appreciation Reception - <i>Offsite</i>

Thursday, October 15

7:00 AM – 8:15 AM	Breakfast
7:00 AM – 9:30 AM	Registration Desk
7:00 AM – 11:00 AM	Connect with 'Meet and Greet' Exhibitors
8:15 AM – 11:00 AM	GENERAL ASSEMBLY
8:15 AM – 8:30 AM	Welcome and Opening General Assembly
8:30 AM – 9:30 AM	MAS/MASIT BUSINESS MEETING & ELECTIONS
9:30 AM – 10:00 AM	Ratifying MAS 2027 Legislative Agenda
10:00 AM – 11:00 AM	GRADUATION CEREMONY
11:30 AM	Adjourn

All Meetings and Activities will be Held at the Huntington Bank Conference Center Unless Otherwise Noted

[Calendar](#) | [Member Login](#) | [Contact Us](#)[HOME](#) [ABOUT](#) [LEGISLATIVE ADVOCACY](#) [MEMBER SERVICES](#) [EVENTS](#)[MEMBER DIRECTORY](#) [MASIT](#) [EDUCATIONAL RESOURCES](#)

2026 Fall Educational Policy & Development Workshop

MISSISSIPPI ASSOCIATION OF SUPERVISORS

MAS 2026 Fall Educational & Policy Development Workshop

Join county leaders from across Mississippi for three days of education, policy development, legislative preparation, networking, and collaboration in Lee County.

October 13–15, 2026 | Huntington Bank Conference Center Tupelo, MS | Lee County

Registration is now open! County and vendor attendees may register through the MAS Member Portal or submit the appropriate Adobe registration form. See registration options below.

[Workshop Overview](#)[Registration](#)[Tentative Agenda](#)[Venue](#)[FAQs](#)

WORKSHOP OVERVIEW

Education, policy development & county connections.

The Fall Educational & Policy Development Workshop brings Mississippi county officials together to strengthen their knowledge of county government, prepare for the upcoming legislative session, discuss issues affecting counties, and connect with fellow county leaders and industry partners.

Educational Sessions

Participate in Institute education classes covering timely issues including redistricting, property tax revenue, data centers, legislative preparation, and other topics affecting Mississippi counties.

Policy Development

Look ahead to the 2027 Regular Legislative Session and participate in the process leading to ratification of MAS's 2027 Legislative Agenda.

Connections

Meet with fellow county officials, connect with Meet & Greet exhibitors, enjoy networking opportunities, and take part in local interest activities.

REGISTRATION

Register for the 2026 Fall Workshop

County and vendor attendees can register online through the **MAS Member Portal (Engagifii)** or submit the appropriate **Adobe Web Form**. We recommend registering through the Member Portal to receive Early Bird pricing.

- q) Travel authorization for Supervisor to attend MS Data Center Development Information Convening on September 15-16, 2026 in Jackson, MS. (Kate Victor)

Mississippi Data Center Information Convening

Tentative Agenda

Tuesday, September 15, 2026

**8:00 A.M. Conference Registration Opens
Coffee/Morning Pastries**

9:00 A.M. Opening Program

Prayer

The Honorable Terry Frazier

Newton County

Board of Supervisors, District 1

Greetings

Governor's Office (Invited)

MAS-MC Executive Committee

Why Are We Here Today?

The Honorable Sharon Thompson

1st Vice President, MAS-MC

Forrest County

Board of Supervisors, District 2

Video Presentation: "The Truth About Data Centers"

Data Centers 101

DataBank

Dallas, TX

9:45 A.M.

State Regulatory Policies and Requirements

Mississippi Public Service Commission

Commissioner DeKeither Stamps

Central District Commissioner

10:15 A.M.

Environmental Concerns of Data Center Development

Mississippi Department of Environmental Quality

Taaka Bailey

11:00 A.M.

Land Use and Planning for Data Center Development

MSU Center for Government Technology and Central MS PDD

Dr. Sumner Davis and Ms. Gray Outzs

TENTATIVE AGENDA

12:00 Noon

LUNCH

Speaker TBD

1:30 P.M.

Community Concerns: Answering All the Tough Questions

Mr. Joe Norwood

Lauderdale County, District 4

Board of Supervisors

Mr. Greg Higginbotham

Madison County

County Administrator

2:00 P.M.

Data Center Development: How Communities Can Welcome Growth Without Sacrificing Control

Mr. Neil Sheehan

Woolpert

Chicago, IL

3:00 P.M.

Revenue/Taxes and Other Costs

Office of the State Auditor

Mr. Tom Chain

Mississippi Association of Tax Assessors and Collectors

Mr. Norman Cannady, Jr., Madison County

MSU Center for Government Technology

Dr. Jason Camp

5:00 P.M.

Networking Reception | Visiting with Sponsors

Wednesday, September 16, 2026

8:00 A.M.

Breakfast

9:00 A.M.

Social Impacts of Data Centers

Dr. Sarah Duignan

SLR Consultants, Ltd.

Ontario, Canada

10:00 A.M.

Virtual Presentation

Facilitator

Mr. Joey Deason

Executive Director

Madison County EDA

The Brookings Institute

Washington, DC

Local Implications: Data Centers in Rural Communities

Anthony Pipa

TENTATIVE AGENDA

Turning the Data Center Boom into Long-Term, Local Prosperity
Mark Muro

11:00 A.M. **Partnership Possibilities: Being Good Corporate Citizens**
Data Centers Located in Mississippi

12:00 Noon **Closing Remarks** Mr. Demarrio Booth
MAS-MC President
Jefferson Davis County
District 3

Conference Adjourns

TENTATIVE AGENDA

- r) Travel authorization for one firefighter to attend the Mississippi Fire Academy on October 5-7, 2026 in Pearl, MS. (Wes Anderson)
- s) Authorize the release of the Fieldstone Farms Phase 7 letter of credit 273A (Joel Hollowell)
- t) Authorize advertisement to take bids for the Phase 2 MDA site development grant improvement project (SDG-S-031) in the Industrial (Joel Hollowell)

Kate Victor

From: Wes Anderson
Sent: Thursday, September 3, 2026 8:14 AM
To: Kate Victor
Subject: Re: Tuesday, September 8th meeting

Authorize travel for one firefighter to attend the Mississippi Fire Academy October 5-7, 2026, in Peal, MS.
(Lou Zemek)



Wes Anderson *Fire Chief*

P.O. Box 1435 • Oxford, MS 38655
t: 662-232-2880
f: 662-234-2635
wanderson@lafayettecoms.com
www.lafayettems.com

From: Kate Victor <kvictor@lafayettecoms.com>
Date: Monday, August 31, 2026 at 9:00 AM
To: Department Heads <Departments@lafayettecoms.com>
Cc: Larry Britt <lb@elliottbritt.com>; David Odonnell <dodonnell@claytonodonnell.com>
Subject: Tuesday, September 8th meeting

Please send me all agenda items by Thursday morning at 9:00 a.m.!!! Due to the Labor Day holiday, the board meeting will be held on Tuesday, September 8th at 5:00 p.m. I will complete the agenda and send out on Thursday, however.



Kate Victor *County Administrator*

300 North Lamar Blvd. • Oxford, MS 38655
t: 662-236-2717
f: 662-234-5402
kvictor@lafayettecoms.com
www.lafayettems.com

7. Resolution to acknowledge Regents as Class 2A Division 1 State Champions

8. Approve SEMP-36(2) Supplemental Agreement No. 5 for additional maintenance of traffic costs associated with closing the full intersection at CR 166 and CR 101 to build roundabout. State Aid approved. (Kevin McLeod)

SUPPLEMENTAL AGREEMENT NO. 5

State Aid Project No. SEMP-36(2)
Lafayette County

OFFICE OF STATE AID ROAD CONSTRUCTION

WHEREAS, (I), (We), Ste-Bil Grading Inc.
Contractor, of Waterford, Mississippi and
the Old Republic Surety Company of
Wisconsin, Surety, entered into a contract with the
Board of Supervisors of Lafayette County on the 20th day of May, 2024, for
the construction of the above designated project, and

WHEREAS, The Board of Supervisors, at their recess meeting on August 6, 2026, did make and approve
a motion to allow the Contractor to shut down the intersection of the project road and Old Hwy. 7 (CR 101)
beginning on August 15, 2026 and ending on August 22, 2026, and

WHEREAS, Additional barricades, road closed signs, and flashing message boards signs will be required
to properly close the intersection, and

WHEREAS, the additional traffic control devices will add cost in the amount of \$8,000 to maintenance of
traffic operations, and

WHEREAS, the Contractor originally bid a lump sum amount of \$60,000 for Pay Item No. S-618-A
Maintenance of Traffic, and

WHEREAS, IT IS AGREED that the pay item unit price for Maintenance of Traffic be revised to accomplish
this work as follows:

Pay Item No.	Item	Unit	Unit Price
S-618-A	Maintenance of Traffic	Lump Sum	\$68,000.00

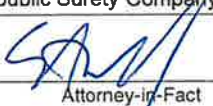
This agreement in no way modifies or changes the original contract of which it becomes a part, except as
specifically stated herein.

NOW, THEREFORE, (I), (We), Ste-Bil Grading, Inc.
Contractor, and the Old Republic Surety Company, Surety,
hereby agree to said Supplemental Agreement consisting of the above mentioned item and price and agree
that this Supplemental Agreement is hereby made a part of the original contract to be performed under the
specifications thereof, and that the original contract is in full force and effect except as it might be modified
by this Supplemental Agreement.

Dated this the _____ day of _____, 2026.

Old Republic Surety Company

Surety

BY: 

Attorney-in-Fact

Stephen Wesley Price, Jr.

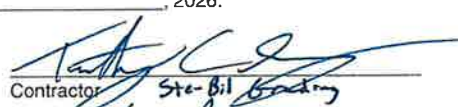
RECOMMENDED FOR APPROVAL:

County Engineer

APPROVED:
BOARD OF SUPERVISORS
LAFAYETTE COUNTY
(By Order of the Board Dated _____)

BY: _____

President


Contractor Ste-Bil Grading
BY: Vice President
Title

APPROVED: _____

Date

State Aid Engineer
Office of State Aid Road Construction



OLD REPUBLIC SURETY COMPANY

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS: That OLD REPUBLIC SURETY COMPANY, a Wisconsin stock insurance corporation, does make, constitute and appoint:

JERRY E. HORNER JR., JERRY G. VEAZEY JR., JASON J. YOUNG, PEGGY L. JACKSON, TRINA COBB, ANGELA BULLIE, SAM J. SACKLER,

STEPHEN WESLEY PRICE JR., AMANDA JEAN CHARFAUROS, LARRY TAYLOR,

ADUERA COOK EDWARDS, DEBBIE DUNAWAY of RIDGELAND, MS

its true and lawful Attorney(s)-in-Fact, with full power and authority for and on behalf of the company as surety, to execute and deliver and affix the seal of the company thereto (if a seal is required), bonds, undertakings, recognizances or other written obligations in the nature thereof, **(other than bail bonds, bank depository bonds, mortgage deficiency bonds, mortgage guaranty bonds, guarantees of installment paper and note guaranty bonds, self-insurance workers compensation bonds guaranteeing payment of benefits, or black lung bonds)**, as follows:

ALL WRITTEN INSTRUMENTS

and to bind OLD REPUBLIC SURETY COMPANY thereby, and all of the acts of said Attorneys-in-Fact, pursuant to these presents, are ratified and confirmed. This appointment is made under and by authority of the board of directors at a special meeting held on February 18, 1982.

This Power of Attorney is signed and sealed by facsimile under and by the authority of the following resolutions adopted by the board of directors of the OLD REPUBLIC SURETY COMPANY on February 18, 1982.

RESOLVED that, the president, any vice-president or assistant vice president, in conjunction with the secretary or any assistant secretary, may appoint attorneys-in-fact or agents with authority as defined or limited in the instrument evidencing the appointment in each case, for and on behalf of the company to execute and deliver and affix the seal of the company to bonds, undertakings, recognizances, and suretyship obligations of all kinds; and said officers may remove any such attorney-in-fact or agent and revoke any Power of Attorney previously granted to such person.

RESOLVED FURTHER, that any bond, undertaking, recognizance, or suretyship obligation shall be valid and binding upon the Company

- (i) when signed by the president, any vice president or assistant vice president, and attested and sealed (if a seal be required) by any secretary or assistant secretary; or
- (ii) when signed by the president, any vice president or assistant vice president, secretary or assistant secretary, and countersigned and sealed (if a seal be required) by a duly authorized attorney-in-fact or agent; or
- (iii) when duly executed and sealed (if a seal be required) by one or more attorneys-in-fact or agents pursuant to and within the limits of the authority evidenced by the Power of Attorney issued by the company to such person or persons.

RESOLVED FURTHER that the signature of any authorized officer and the seal of the company may be affixed by facsimile to any Power of Attorney or certification thereof authorizing the execution and delivery of any bond, undertaking, recognizance, or other suretyship obligations of the company; and such signature and seal when so used shall have the same force and effect as though manually affixed.

IN WITNESS WHEREOF, OLD REPUBLIC SURETY COMPANY has caused these presents to be signed by its proper officer, and its corporate seal to be affixed this 6th day of August, 2026

[Signature]

Assistant Secretary



OLD REPUBLIC SURETY COMPANY

[Signature]

President

STATE OF WISCONSIN, COUNTY OF WAUKESHA - SS

On this 6th day of August, 2026, personally came before me, Steven R. Denault

and Kevin J. Abitz, to me known to be the individuals and officers of the OLD REPUBLIC SURETY COMPANY who executed the above instrument, and they each acknowledged the execution of the same, and being by me duly sworn, did severally depose and say: that they are the said officers of the corporation aforesaid, and that the seal affixed to the above instrument is the seal of the corporation, and that said corporate seal and their signatures as such officers were duly affixed and subscribed to the said instrument by the authority of the board of directors of said corporation.



[Signature]

Notary Public

My Commission Expires: February 9, 2027

(Expiration of notary's commission does not invalidate this instrument)

CERTIFICATE

I, the undersigned, assistant secretary of the OLD REPUBLIC SURETY COMPANY, a Wisconsin corporation, CERTIFY that the foregoing and attached Power of Attorney remains in full force and has not been revoked; and furthermore, that the Resolutions of the board of directors set forth in the Power of Attorney, are now in force.

87-0158



Signed and sealed at the City of Brookfield, WI this

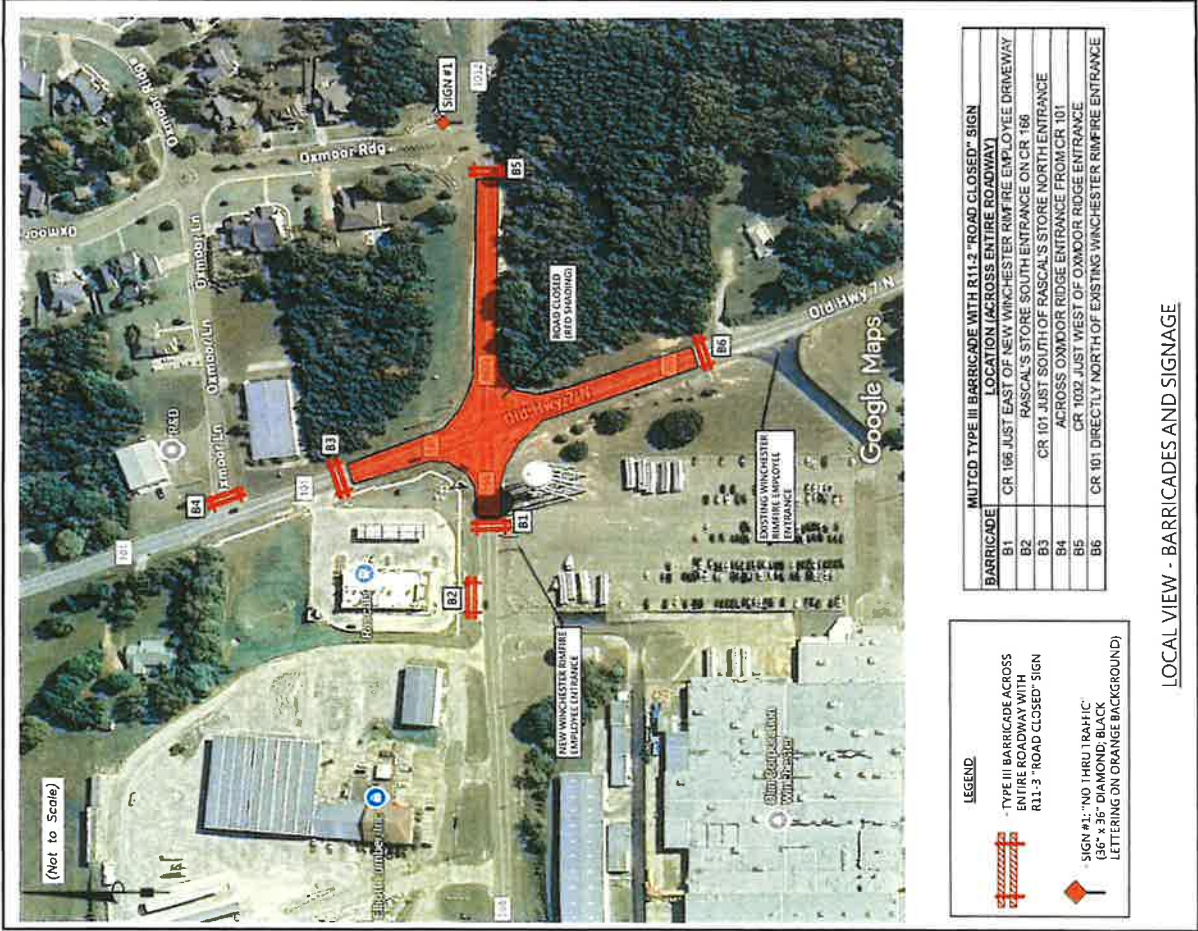
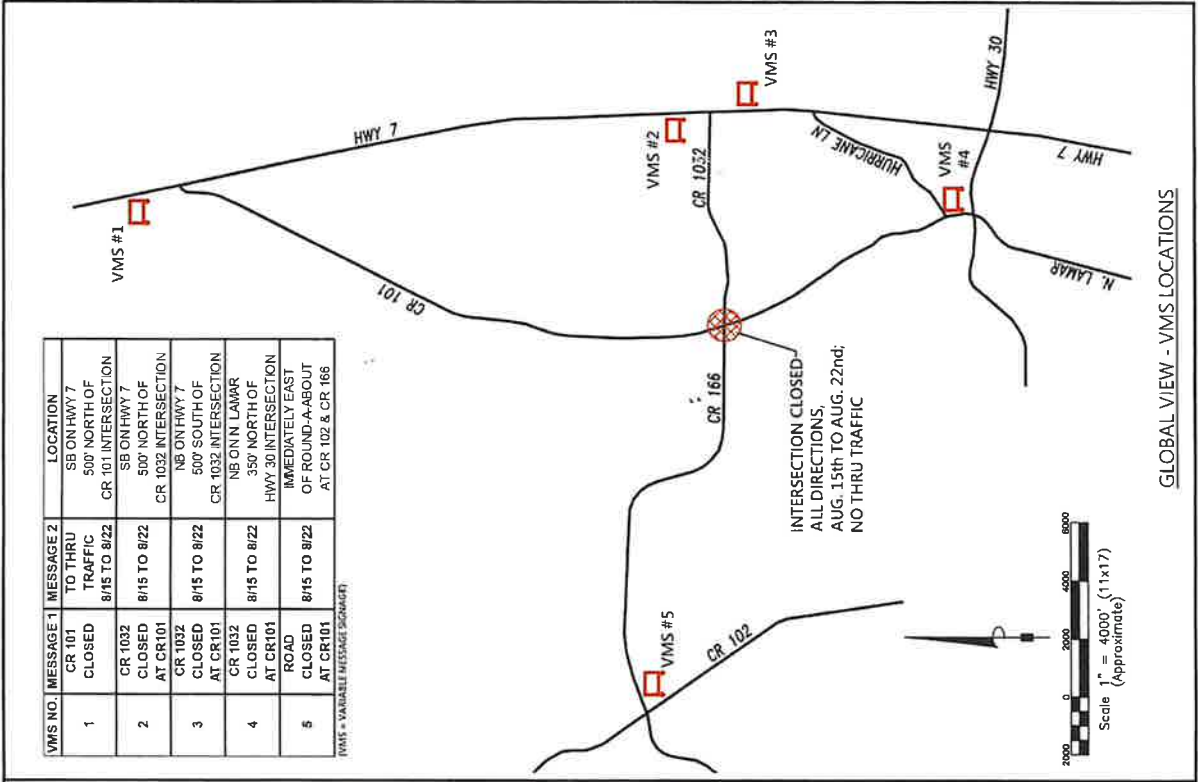
13th day of August, 2026

[Signature]

Assistant Secretary

ORSC 22262 (3-06)

MARSH & MCLENNAN AGENCY LLC



9. Authorize advertisement to take bids for LCBR-36(01) Bridge Replacement project on CR 436. (Kevin McLeod)
10. Consider authorizing the final lift of asphalt on West Oxford Loop extension from CR 102 to CR 1045. (Kevin McLeod)

11. Approve Magnolia Materials Memorandum of Lease. (David O'Donnell)
12. Approve Magnolia Materials request to waive 30 day Notice requirement regarding intended mortgage and deed of trust. (David O'Donnell)

LAW OFFICES
MITCHELL McNUTT

105 SOUTH FRONT STREET
POST OFFICE BOX 7120
TUPELO, MISSISSIPPI 38802-7120
(662) 842-3871
FACSIMILE (662) 842-8450

215 FIFTH STREET NORTH
POST OFFICE BOX 1366
COLUMBUS, MISSISSIPPI 39703-1366
(662) 328-2316
FACSIMILE (662) 328-8035

MATTHEW M. MOORE
DIRECT (662) 234-4845
EMAIL: matt.moore@mitchellmcnutt.com

1216 VAN BUREN
POST OFFICE BOX 947
OXFORD, MISSISSIPPI 38655
(662) 234-4845
FACSIMILE (662) 234-9071

22 NORTH FRONT STREET,
SUITE 1030
MEMPHIS, TENNESSEE 38103
(901) 527-2585
FACSIMILE (901) 527-2361

200 SOUTH MONTGOMERY STREET
SUITE 202 - 203
STARKVILLE, MS 39759
(662) 270-6283
FACSIMILE (662) 842-8450

A PROFESSIONAL ASSOCIATION

September 3rd, 2026

PERSONAL HAND DELIVERY

Ms. Kate Victor
County Administrator of
Lafayette County, Mississippi
300 North Lamar Blvd.
Oxford, Mississippi 38655

Via Email Delivery to: kvictor@lafayettecoms.com

With a Copy to: David O' Donnell, Board Attorney.
Clayton O'Donnell, PLLC
1403 Van Buren Aveune
Oxford, MS 38655

Re: Memorandum of Lease for Lease Agreement of the
Board of Supervisors of Lafayette County Mississippi and Magnolia
Materials, LLC, Lafayette County Industrial Park,
Oxford, Mississippi 38655, dated December 18th, 2025
and Notice of Tenant's Leasehold Mortgage

Dear Kate:

I represent Magnolia Materials, LLC, (the "Tenant") in the closing of a financing transaction that will subject the "Premises" as is set out and defined in the hereinabove referenced Lease Agreement dated December 18th, 2025, between the Tenant and the Board of Supervisors of Lafayette County Mississippi (the "Landlord") to a Leasehold Mortgage.

A requirement for the closing for said transaction will be the filing of a Memorandum of Lease in the land records of the Office of the Chancery Clerk of Lafayette County, Mississippi evidencing the Lease Agreement. I have therefore prepared, consistent with the Lease Agreement terms, and hereby submit to the Board the attached draft Memorandum of Lease for

approval. Should this draft be approved by the Board, I would humbly request the Memorandum of Lease be executed by the President of the Board and the original returned to me for filing.

Further and consistent with the requirements of Section 10.2.2 of the Lease Agreement, notice is hereby given to the Landlord of a proposed Leasehold Mortgage in favor of FNB Oxford Bank, and whose address is 101 Courthouse Square, Oxford, Mississippi 38655. The Tenant has not yet received a copy of the proposed leasehold Mortgage documents but will provide a copy to the Landlord as soon as possible. The anticipated proposed Leasehold Deed of Trust will be a boiler plate, standard LaserPro bank prepared Leasehold Deed of Trust. Therefore due to its standard nature, and due to certain time constraints and the necessity to close the contemplated transaction as soon as possible, the Tenant humbly and respectfully requests that the Thirty (30) day notice provision of 10.2.2 of the Lease Agreement be waived by the Landlord in this one instance.

Thank you for your consideration of this matter and should you have any questions or need anything, please do not hesitate to contact me at your convenience.

Sincerely,



Matthew M. Moore

MM; sbd

Enclosure

Prepared by & Return to:

Mitchell McNutt
Matthew M. Moore, Esq.
MS Bar # 100779
P. O. Box 947
Oxford, Mississippi 38655
(662) 234-4845

INDEXING INSTRUCTIONS: A fraction of the North Half (N 1/2) of Section 8, and South Half (S 1/2) of Section 5, Township 8 South, Range 3 West, Lafayette County, Mississippi

MEMORANDUM OF LEASE

Landlord:

Board of Supervisors of Lafayette County, Mississippi
300 North Lamar Blvd.
Oxford, Mississippi 38655
(662) 234-2717

Tenant:

Magnolia Materials, LLC
A Mississippi limited liability company
31 Highway 328
Oxford, Mississippi 38655
(662) 816-5677

BOARD OF SUPERVISORS OF LAFAYETTE COUNTY, MISSISSIPPI, a Mississippi political subdivision of the State of Mississippi, ("**Landlord**"), and MAGNOLIA MATERIALS, LLC, a Mississippi limited liability company ("**Tenant**"), (together the "**Parties**").

WHEREAS, Landlord and Tenant entered into a Lease Agreement ("**Lease**") dated December 18th, 2025, setting forth the terms of the lease of property described below; and

WHEREAS, Landlord and Tenant desire to execute this Memorandum to place on record certain terms of the Lease.

NOW, THEREFORE, for good and valuable considerations described in the Lease, the receipt and sufficiency of which are hereby acknowledged, Landlord does lease to Tenant and Tenant does lease from Landlord the real property described below upon the terms and conditions set forth in the Lease including the following terms:

1. Property. Landlord is the owner of a tract of land described in Exhibit "A" attached hereto ("**Property**").
2. Use and Access. Landlord has leased the Property to Tenant for the purpose of construction, operating, and maintaining an asphalt plant and any other lawful uses ancillary or related or comparable thereto including without limitation the sale of aggregated and other by-products of the operation or any other lawful purpose as is more fully described in the Lease.
3. Term of Lease. The term of the Lease commenced on the first day of the month following site plan approval of both the Lafayette County Planning Commission and the Board of Supervisors being February 1st, 2026, (**the "Commencement Date"**), having an initial term for a period of Thirty-Five (35) years. The Lease may be extended by Tenant, for an unlimited number of Five (5) year terms, (**each an "Extension Term"**). The Lease shall remain in effect absent breach, up to the renewal date, and if not terminated prior to, for any applicable renewal terms.
4. Option to Purchase. The Tenant has the option to purchase the Property at any time following the commencement of the Lease, subject to the terms of the Lease, during the entire Term of the Lease and any Extension Term.
5. Memorandum. This Memorandum is entered into by the Landlord and Tenant solely for the purpose of recording and does not change or alter any term or provision of the Lease, reference to which is hereby made for all purposes.

IN WITNESS WHEREOF, Landlord and Tenant have caused this Memorandum to be executed on the dates of the acknowledgments below to be effective as of the date of the last acknowledgement.

LANDLORD:

BOARD OF SUPERVISORS
OF LAFAYETTE COUNTY, MISSISSIPPI
a Political Subdivision of the State of
Mississippi

By: _____
BRENT LARSON
President

TENANT:

MAGNOLIA MATERIALS, LLC
a Mississippi limited liability company

By: _____
JOHN W. MCCURDY, II
Managing Member

STATE OF _____
COUNTY OF _____

Personally appeared before me, the undersigned authority in and for the said county and state, on this ____ day of _____, 2026, within my jurisdiction, the within named Brent Larson, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed in the above and foregoing instrument and acknowledged that he executed the same in his representative capacity(ies) as President, and that by his signature(s) on the instrument, and as the act and deed of the Lafayette County Board of Supervisors, executed the above and foregoing instrument, after first having been duly authorized so to do.

(Signature of notarial officer)

My commission expires: _____

STATE OF _____
COUNTY OF _____

Personally appeared before me, the undersigned authority in and for the said county and state, on this ____ day of _____, 2026, within my jurisdiction, the within named John W. McCurdy, II, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed in the above and foregoing instrument and acknowledged that he executed the same in her/his representative capacity(ies) as Managing Member, and that by her/his signature(s) on the instrument, and as the act and deed of Magnolia Materials, LLC, a Mississippi limited liability company, executed the above and foregoing instrument, after first having been duly authorized so to do.

(Signature of notarial officer)

My commission expires: _____

Exhibit "A"

Description: A tract of land being a fraction of the North Half (N 1/2) of Section 8, and South Half (S 1/2) of Section 5, Township 8 South, Range 3 West, Lafayette County, Mississippi; being described in more detail as follows:

Commencing at a 1/2" rebar in concrete found marking the Northeast corner of the Southwest Quarter (SW 1/4) of Section 5, Township 8 South, Range 3 West, Lafayette County, Mississippi, said rebar being further defined by Mississippi East State Plane Coordinates of N: 1788990.70 and E: 772329.82; run thence S 00°55'27" W for a distance of 2,070.87 feet to a 1/2" rebar set on the Southwestern right-of-way line of Lafayette County Road No. 166 (105.34 feet from centerline), said rebar being further defined by Mississippi East State Plane Coordinates of N: 1786920.10 and E: 772296.42, said rebar also being the Point of Beginning of this description; run thence along said right-of-way line as follows: S 29° 27' 49" E for a distance of 11.70 feet to a 1/2" rebar set (108.00 feet from centerline); run thence S 44° 32' 53" E for a distance of 268.27 feet to a 1/2" rebar set (50.00 feet from centerline) at the beginning of a circular curve to the left; run thence along said curve having an arc length of 723.23 feet, a chord bearing of S 50° 54' 04" E, a chord length of 716.69 feet, and a radius of 1,550.00 feet to a 1/2" rebar set (50.00 feet from centerline); run thence S 56° 55' 58" E for a distance of 296.96 feet to a 1/2" rebar set (115.00 feet from centerline); run thence S 75° 43' 52" E for a distance of 15.76 feet to a point in the centerline of a ditch (114.81 feet from centerline), said point being referenced by a 1/2" rebar located N 22°23'44" E for 45.00 feet and a reference mag nail with washer located N 22°23'44" E for 100.00 feet from said point; run thence leaving said right-of-way line and along said centerline of ditch as follows: S 22° 23' 44" W for a distance of 47.67 feet to a point; run thence S 00° 25' 35" W for a distance of 25.05 feet to a point; run thence S 48° 42' 52" W for a distance of 67.90 feet to a point; run thence S 06° 34' 01" W for a distance of 34.56 feet to a point; run thence S 21° 14' 18" E for a distance of 18.84 feet to a point; run thence S 59° 53' 03" E for a distance of 35.09 feet to a point; run thence S 29° 37' 59" W for a distance of 39.37 feet to a point; run thence S 01° 23' 54" E for a distance of 18.30 feet to a point; run thence S 54° 11' 55" E for a distance of 35.42 feet to a point; run thence S 07° 42' 53" E for a distance of 9.19 feet to a point; run thence S 19° 27' 59" W for a distance of 19.66 feet to a point; run thence S 33° 00' 44" W for a distance of 44.85 feet to a point; run thence S 20° 19' 36" E for a distance of 31.32 feet to a point; run thence S 42° 28' 37" W for a distance of 31.08 feet to a point; run thence S 05° 37' 33" W for a distance of 11.03 feet to a point; run thence S 29° 14' 18" E for a distance of 20.82 feet to a point; run thence S 34° 43' 22" E for a distance of 39.68 feet to a point; run thence S 02° 32' 54" W for a distance of 16.07 feet to a point; run thence S 36° 54' 45" W for a distance of 52.65 feet to a point; run thence S 43° 07' 38" W for a distance of 54.34 feet to a point; run thence S 84° 22' 58" W for a distance of 79.03 feet to a point; run thence S 56° 17' 48" W for a distance of 72.30 feet to a point; run thence S 29° 40' 05" W for a distance of 17.48 feet to a point; run thence N 89° 25' 43" W leaving said ditch for a distance of 746.02 feet to a 1/2" rebar set near traces of a barbed wire fence line, passing through a

1/2" reference rebar set online 706.02 feet back; run thence along said traces as follows: N 04° 00' 57" E for a distance of 98.01 feet to a 1/2" rebar set; run thence N 00° 21' 31" W for a distance of 126.90 feet to a 1/2" rebar set; run thence N 00° 16' 22" E for a distance of 298.98 feet to a 1/2" rebar set; run thence N 00° 16' 51" W for a distance of 114.30 feet to a 1/2" rebar set; run thence N 89° 35' 52" W leaving said traces of wire for a distance of 243.59 feet to a 1/2" rebar found; run thence N 00° 34' 27" E for a distance of 209.48 feet to a 1/2" rebar in concrete found; run thence N 00° 55' 16" E for a distance of 208.94 feet to a 1/2" rebar in concrete found; run thence S 88° 46' 36" E for a distance of 208.76 feet to a 1/2" rebar in concrete found on the East line of the of the Southwest Quarter (SW 1/4) of Section 5; run thence N 00° 55' 27" E along said East line for a distance of 355.11 feet to the Point of Beginning of the herein described tract of land. Said tract contains 22.92 acres, more or less.

The above description is based on Mississippi East State Plane Coordinate System Grid North as determined by GPS Observations with a Convergence of (-0°23'50") and a scale factor of 1.00000141 calculated at The Point of Commencement. Horizontal Datum based on NAD 83(2011) and Vertical Datum based on NAVD 88 as posted on station: GCGC Real Time Network, CORS- This is a GPS Continuously Operating Reference Station, Designation- Oxford CORS ARP, MSOX, PID - DK6714, Lat- 34° 21' 50.93055", Long- 89° 31' 56.51634". All property corners set are 1/2" rebar with survey cap (WEC - COA 159). This Description was prepared by Williams Engineering Consultants, Inc. (662-236-9675)

13. Acknowledge receipt of Magnolia Materials Notice of Intent to exercise option to purchase Industrial Park property. (David O'Donnell)
14. Approve obtaining two fair market appraisals for Industrial Park property subject to Magnolia Materials Notice of Intent. (David O'Donnell)
15. Approve hiring of Elliott & Britt Engineering to draw legal description of property subject to Magnolia Materials Notice of Intent. (David O'Donnell)

WELLS MARBLE
ATTORNEYS AT LAW
— SINCE 1871 —

Roy H. Liddell T: 601.605.6930 rliddell@wellsmarble.com

*Admitted to practice in Mississippi and Alabama

August 24, 2026

Via Federal Express, U.S. Mail and Email

Board of Supervisors of Lafayette County, MS
300 N. Lamar Blvd.
Oxford, MS 38655

David D. O'Donnell, Esq.
Board Attorney
Clayton O'Donnell, PLLC
1403 Van Buren Ave.
Oxford, MS 38655
(dodonnell@claytonodonnell.com)

Re: Lease Agreement Between Board of Supervisors of Lafayette County, Mississippi and Magnolia Materials, LLC/Notice of Exercise of Purchase Option Pursuant to Section 1.4 of Lease

Members of the Board and Mr. O'Donnell:

I represent Magnolia Materials, LLC ("Magnolia").

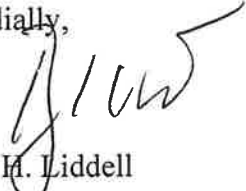
By delivery of this letter and pursuant to Section 1.4 of the Lease Agreement ("Lease") between Magnolia and the Board of Supervisors of Lafayette County, Mississippi ("Board"), Magnolia delivers and provides its Notice of Exercise ("Notice") of Magnolia's intention to exercise its option to purchase as provided therein.

Pursuant to Section 1.4 of the Lease Agreement and delivery of this Notice, Magnolia understands that the Board shall obtain an appraisal of the fair market value of the Premises, and that within fifteen (15) days of receipt of such appraisal the Board will send Magnolia a Reply Notice setting forth the proposed purchase price. If the proposed purchase price is acceptable to Magnolia, Magnolia will confirm same and the sale shall be consummated within sixty (60) days after the Board's delivery of the Reply Notice.

Board of Supervisors of Lafayette County, MS
David D. O'Donnell, Esq
August 24, 2026
Page 2 of 2

Thank you for your assistance in moving forward with the implementation of Magnolia's Notice and related actions pursuant to Section 1.4. If you have any questions, please have Mr. O'Donnell reach out to me as the Board's attorney.

Cordially,


Roy H. Liddell

RHL/kt

14. Consider the Planning Commission recommendation to approve the Fat Possum Records - Warehouse Addition, Final Site Plan, Lafayette County Parcels 132X-04-007.00, 132X-04-007.01 and 132X-04-007.02, 490 Block CR 101. (Tristan Riddell)



Lafayette County Development Services
Planning, Zoning & Building Inspection

To: Lafayette County Board of Supervisors
From: Tristan Riddell, Planner
Meeting Date: September 8, 2026
Case: 26-309

Applicant: Fat Possum Records
Request: Final Site Plan

Location: 490 Block CR 101
Parcel Number(s): 132X-04-007.00, 132X-04-007.01 and 132X-04-007.02.
PPIN: 15952, 36518, 36518

Existing Zoning District: Light Industrial (I-1)
Adjacent Zoning Districts: Rural (A-1) and Light Industrial (I-1)

Background

Fat Possum Records was granted a dimensional variance from buffer yard and screening standards of the Lafayette County Zoning Ordinance (Article IV Section 404) at the August 17, 2026, Lafayette County Board of Supervisor meeting. The applicant now seeks final site plan approval in accordance with Article II of the Lafayette County Land Development Standards and Regulations (LCLDSR).

Final Site Plan Approval

The Final Site Plan conforms with the requirements of the Lafayette County Land Development Standards and Regulations (Article II, Section 2, LCLDSR).

Planning Staff Recommendation

Planning Staff recommends approval of the final site plan.

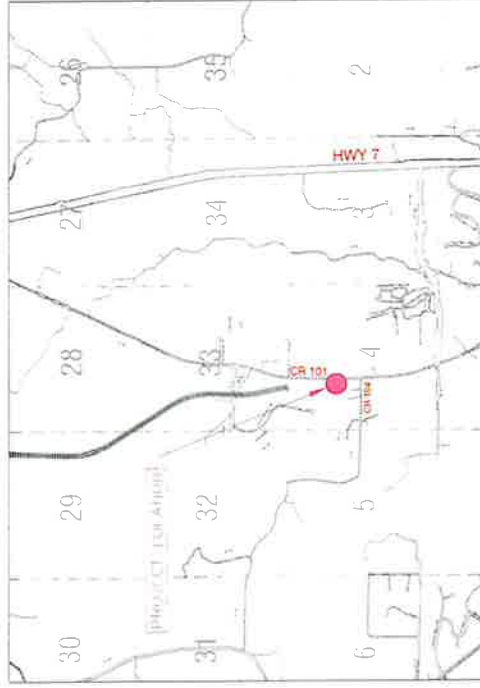
Planning Commission Recommendation

The Planning Commission voted unanimously (4-0) to approve the final site plan.

Enc.:

1. Application Materials

CONSTRUCTION PLANS
FOR
FAT POSSUM RECORDS - WAREHOUSE ADDITION
AT
LAFAYETTE COUNTY



VICINITY MAP
N.T.S.

OXFORD, LAFAYETTE COUNTY, MISSISSIPPI

CONSULTING ENGINEER:
PRECISION ENGINEERING CORPORATION
1776 NORTH LAMAR BOULEVARD
OXFORD, MS 38655
(662) 234-8539

OWNER/DEVELOPER:
NORTH LAMAR PROPERTY HOLDINGS, LLC
P.O. BOX 1923
OXFORD, MS 38655

INDEX OF SHEETS:

C102	EXISTING CONDITIONS & AERIAL IMAGERY
C103	EROSION CONTROL PLAN
C105	SITE PLAN
C106	OVERALL GRADING PLAN
C107	STORM DRAINAGE PLAN
C111	WATER LAYOUT
C112	SEWER LAYOUT
C501 - C504	DETAILS
L101	LANDSCAPE PLAN





DATE: 08/08/2014
 DRAWN BY: J. H. HARRIS
 CHECKED BY: J. H. HARRIS
 PROJECT: 14-0000000000

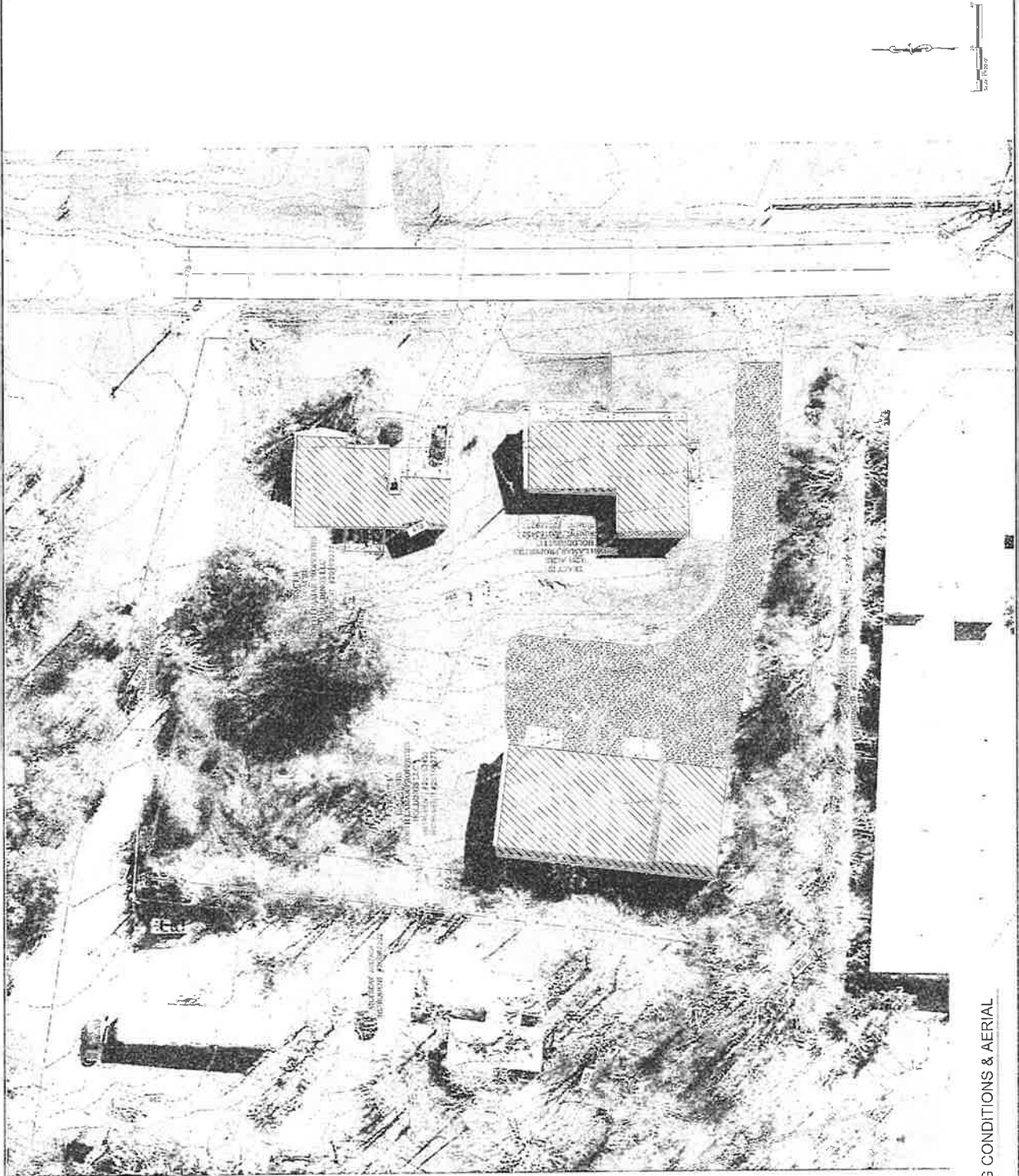
REVISIONS:

NO.	DATE	DESCRIPTION
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EXISTING CONDITIONS & AERIAL
 FOR
 FAT POSSUM RECORDS
 WAREHOUSE ADDITION
 OXFORD, LAFAYETTE COUNTY, MISSISSIPPI

NO.	DATE	DESCRIPTION
1	08/08/2014	ISSUED FOR PERMIT

C102



EXISTING CONDITIONS & AERIAL
 SCALE: 1" = 40'

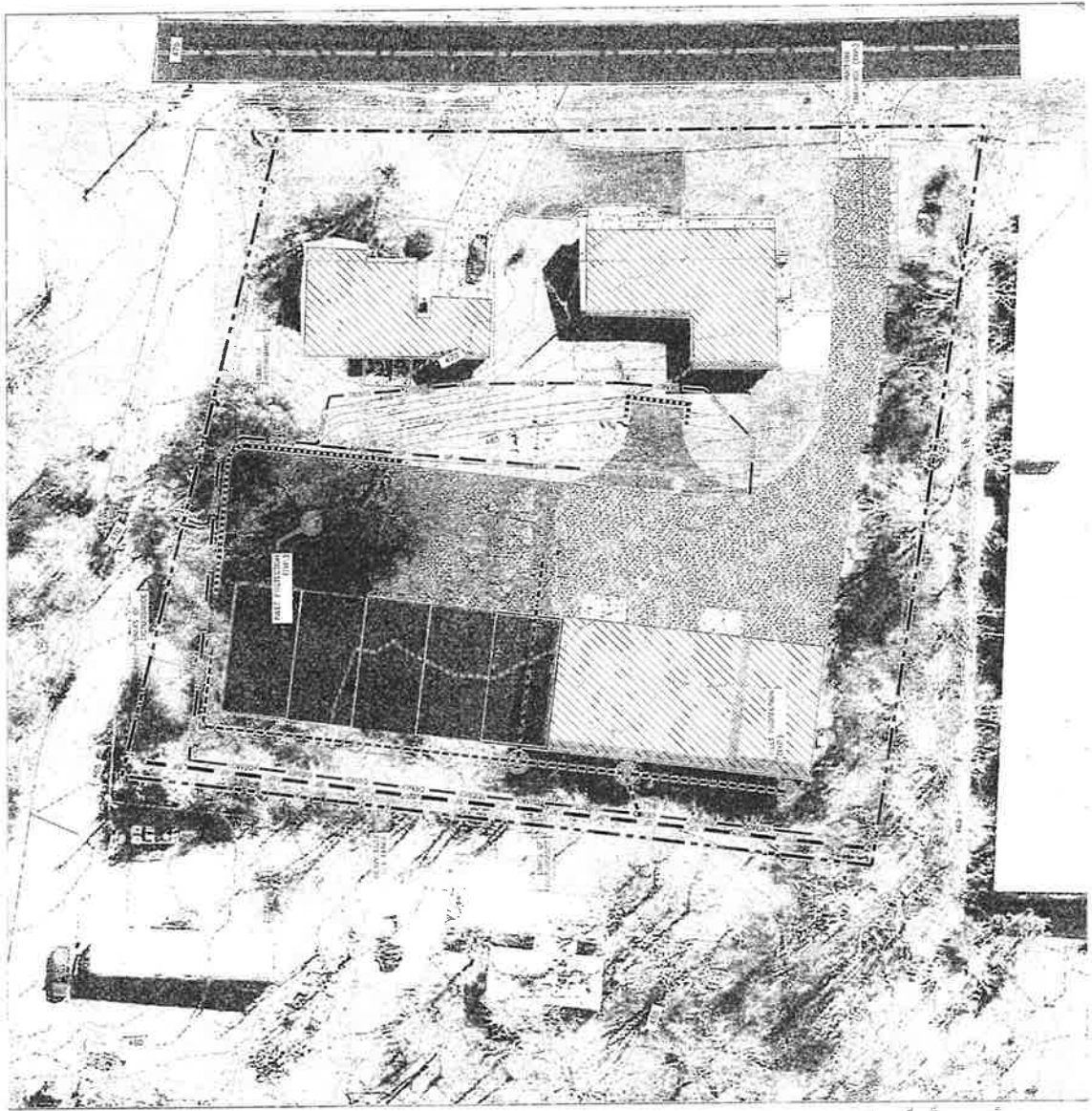


PRECISION ENGINEERING CORPORATION
1515 W. 10th St., Suite 100
Oxford, MS 38655-4000
Phone: (662) 929-1100
Fax: (662) 929-1101
Email: info@pec-engineering.com

REVISIONS:	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
7	ISSUED FOR PERMIT
8	ISSUED FOR PERMIT
9	ISSUED FOR PERMIT
10	ISSUED FOR PERMIT

EROSION CONTROL PLAN FOR FAT POSSUM RECORDS WAREHOUSE ADDITION OXFORD, LAFAYETTE COUNTY, MISSISSIPPI

C103



1. EXISTING WAREHOUSE BUILDING
2. PROPOSED WAREHOUSE ADDITION
3. PROPOSED ACCESS ROAD
4. PROPOSED STORMWATER MANAGEMENT SYSTEM
5. PROPOSED EROSION CONTROL MEASURES
6. PROPERTY LINES
7. SURROUNDING LAND
8. TOPOGRAPHY
9. NORTH ARROW
10. SCALE BAR

1. EXISTING WAREHOUSE BUILDING
2. PROPOSED WAREHOUSE ADDITION
3. PROPOSED ACCESS ROAD
4. PROPOSED STORMWATER MANAGEMENT SYSTEM
5. PROPOSED EROSION CONTROL MEASURES
6. PROPERTY LINES
7. SURROUNDING LAND
8. TOPOGRAPHY
9. NORTH ARROW
10. SCALE BAR

1. EXISTING WAREHOUSE BUILDING
2. PROPOSED WAREHOUSE ADDITION
3. PROPOSED ACCESS ROAD
4. PROPOSED STORMWATER MANAGEMENT SYSTEM
5. PROPOSED EROSION CONTROL MEASURES
6. PROPERTY LINES
7. SURROUNDING LAND
8. TOPOGRAPHY
9. NORTH ARROW
10. SCALE BAR

EROSION CONTROL PLAN

Sheet # 10

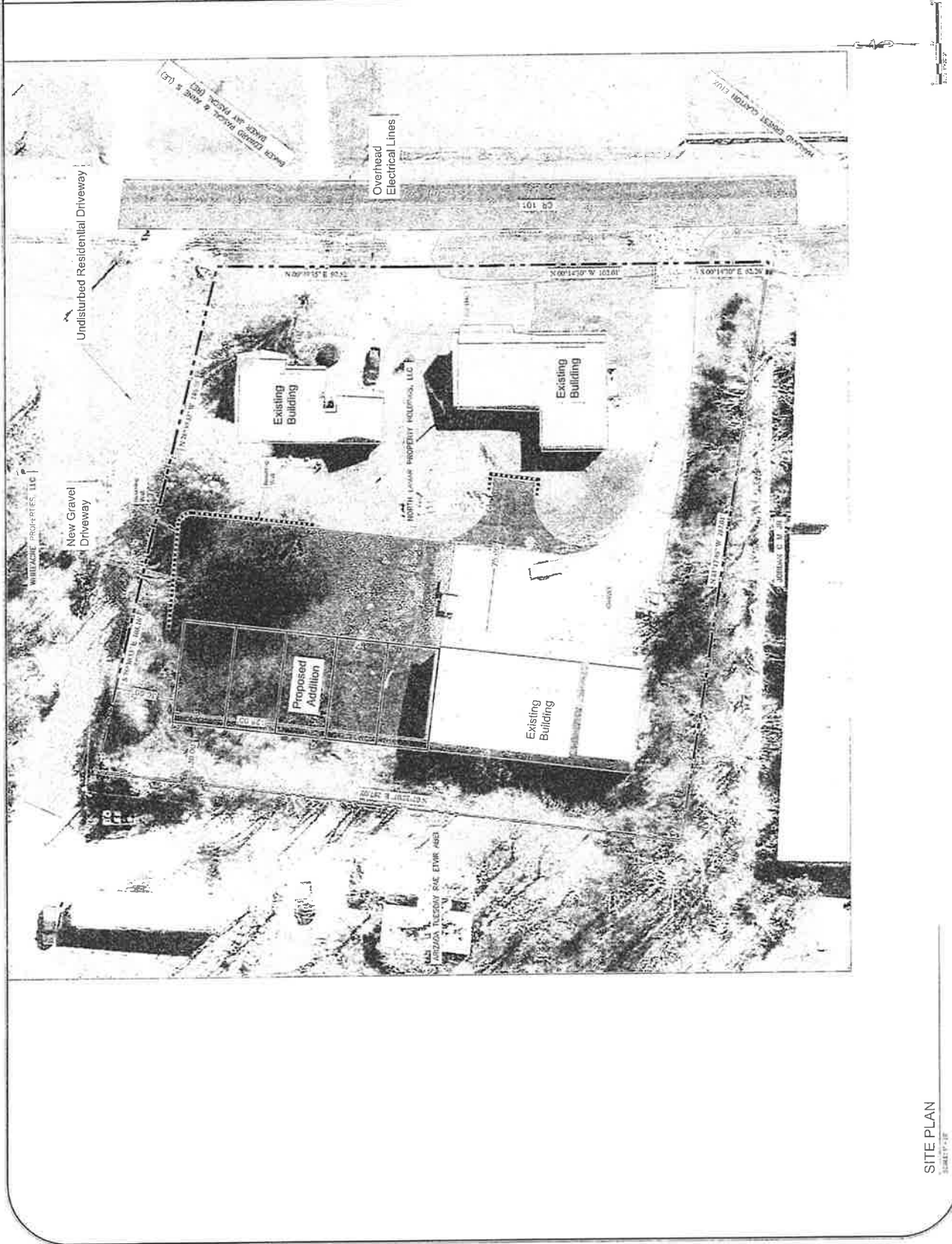


DATE	10/11/2017	
REVISIONS:		
NO.	DATE	DESCRIPTION
1	10/11/2017	ISSUED FOR PERMIT

PROPOSED LAYOUT
FOR
FAT POSSUM RECORDS
WAREHOUSE ADDITION
OXFORD, LAFAYETTE COUNTY, MISSISSIPPI

PROJECT NO.	17-001
DATE	10/11/2017
BY	AWB
CHECKED BY	AWB
SCALE	AS SHOWN
PROJECT NAME	FAT POSSUM RECORDS WAREHOUSE ADDITION
PROJECT LOCATION	OXFORD, LAFAYETTE COUNTY, MISSISSIPPI
PROJECT OWNER	WILKINSON PROPERTIES, LLC

C105



SITE PLAN
SHEET 1 OF 1

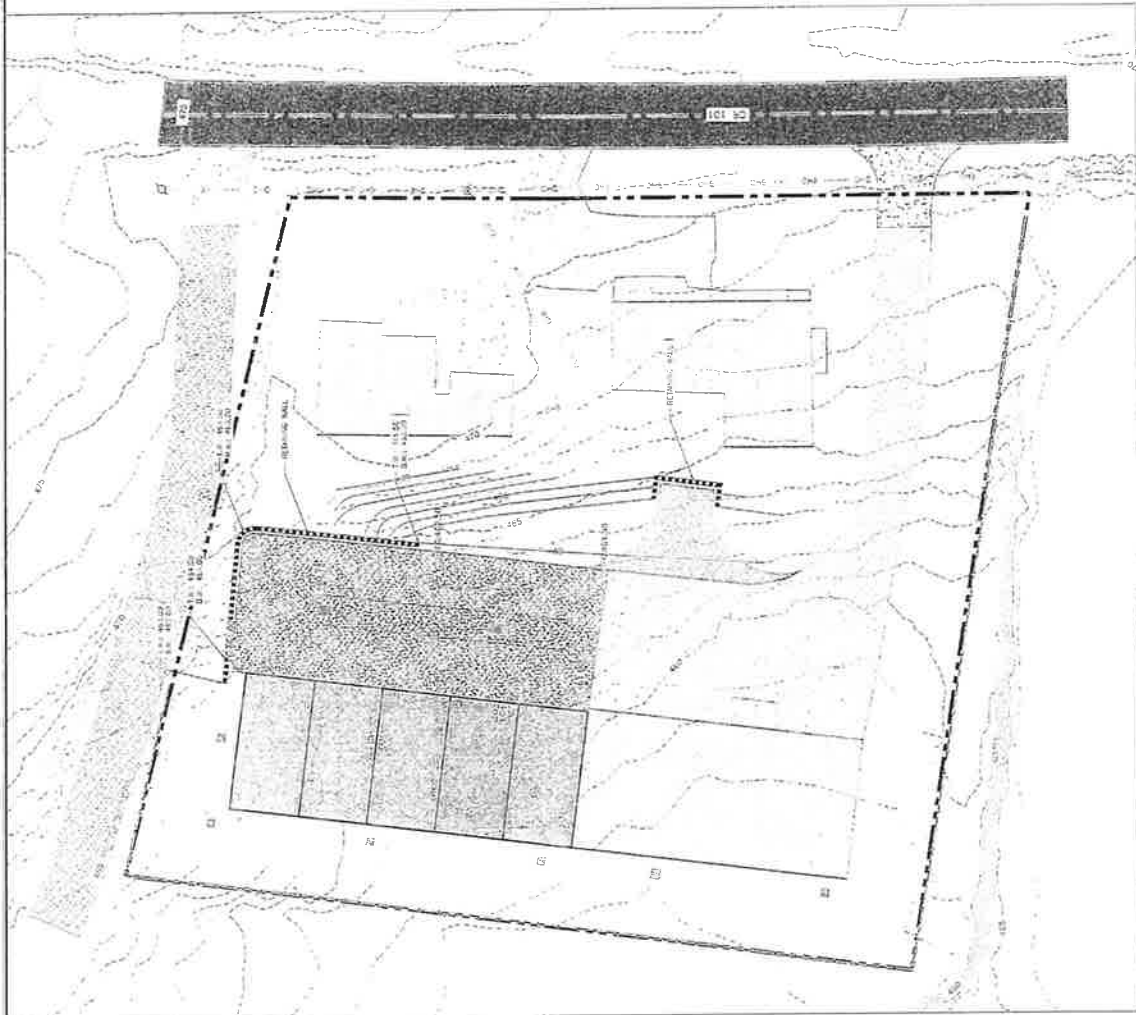
OVERALL GRADING PLAN
FOR
FAT POSSUM RECORDS
WAREHOUSE ADDITION
OXFORD, LAFAYETTE COUNTY, MISSISSIPPI

姓名	王	性别	男	出生年月	2019
身份证号		民族	汉族	学历	高中
联系电话		电子邮箱		联系地址	
备注					

C106

[illegible]

3. **RESEARCH AND DEVELOPMENT** AND **MARKETING** EXPENSES ARE DEDUCTIBLE AS LONG AS THEY ARE INCURRED IN CONNECTION WITH THE SELLING OF PRODUCTS OR SERVICES.
4. **RESEARCH AND DEVELOPMENT** EXPENSES ARE DEDUCTIBLE ON THE BASIS OF THE **REASONABLE EFFORTS** TEST. THE REASONABLE EFFORTS TEST IS A SUBJECTIVE TEST THAT REQUIRES THE COMPANY TO INCUR EXPENSES FOR RESEARCH AND DEVELOPMENT PURPOSES.
5. **RESEARCH AND DEVELOPMENT** EXPENSES ARE DEDUCTIBLE FOR THE YEAR IN WHICH THEY ARE INCURRED, REGARDLESS OF WHETHER THE RESEARCH AND DEVELOPMENT PROJECTS ARE COMPLETED.
6. **RESEARCH AND DEVELOPMENT** EXPENSES ARE DEDUCTIBLE FOR THE YEAR IN WHICH THEY ARE INCURRED, REGARDLESS OF WHETHER THE RESEARCH AND DEVELOPMENT PROJECTS ARE COMPLETED.
7. **RESEARCH AND DEVELOPMENT** EXPENSES ARE DEDUCTIBLE FOR THE YEAR IN WHICH THEY ARE INCURRED, REGARDLESS OF WHETHER THE RESEARCH AND DEVELOPMENT PROJECTS ARE COMPLETED.
8. **RESEARCH AND DEVELOPMENT** EXPENSES ARE DEDUCTIBLE FOR THE YEAR IN WHICH THEY ARE INCURRED, REGARDLESS OF WHETHER THE RESEARCH AND DEVELOPMENT PROJECTS ARE COMPLETED.
9. **RESEARCH AND DEVELOPMENT** EXPENSES ARE DEDUCTIBLE FOR THE YEAR IN WHICH THEY ARE INCURRED, REGARDLESS OF WHETHER THE RESEARCH AND DEVELOPMENT PROJECTS ARE COMPLETED.
10. **RESEARCH AND DEVELOPMENT** EXPENSES ARE DEDUCTIBLE FOR THE YEAR IN WHICH THEY ARE INCURRED, REGARDLESS OF WHETHER THE RESEARCH AND DEVELOPMENT PROJECTS ARE COMPLETED.





PROJECT: FAYETTE COUNTY, MISSISSIPPI
DRAWN BY: J. L. BRYANT
CHECKED BY: J. L. BRYANT
DATE: 10/1/07

REVISIONS:

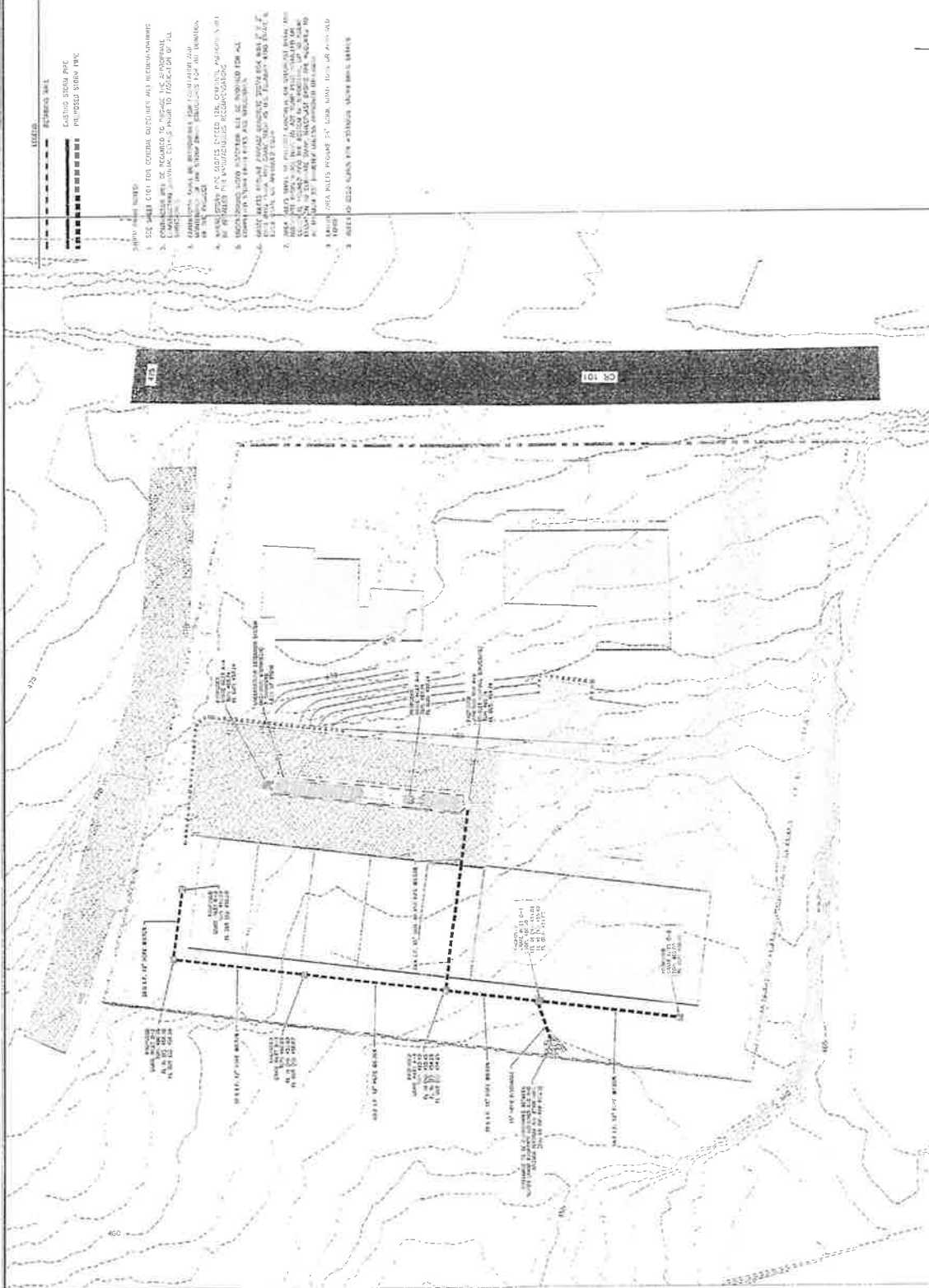
NO.	DATE	REVISION
1	10/1/07	ISSUED FOR PERMIT

STORM DRAINAGE PLAN
FOR
FAT POSSUM RECORDS
WAREHOUSE ADDITION
OXFORD, LAFAYETTE COUNTY, MISSISSIPPI

DATE	BY	CHKD	APP'D
10/1/07	J. L. BRYANT	J. L. BRYANT	J. L. BRYANT

PROJECT NO.	07-001
DATE	10/1/07
BY	J. L. BRYANT
CHKD	J. L. BRYANT
APP'D	J. L. BRYANT

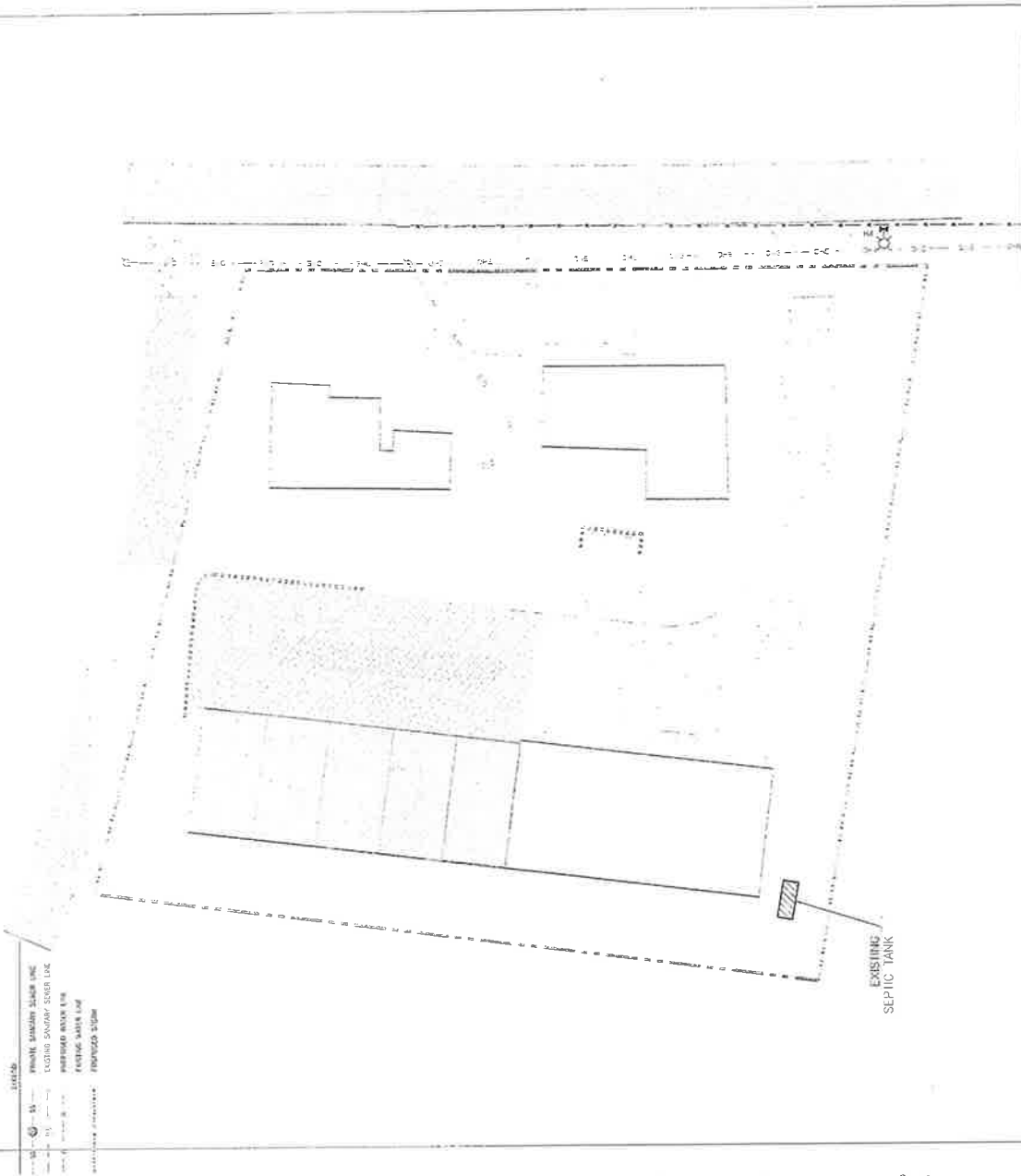
C107



STORM DRAINAGE PLAN

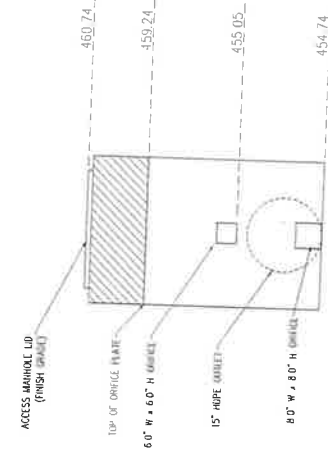
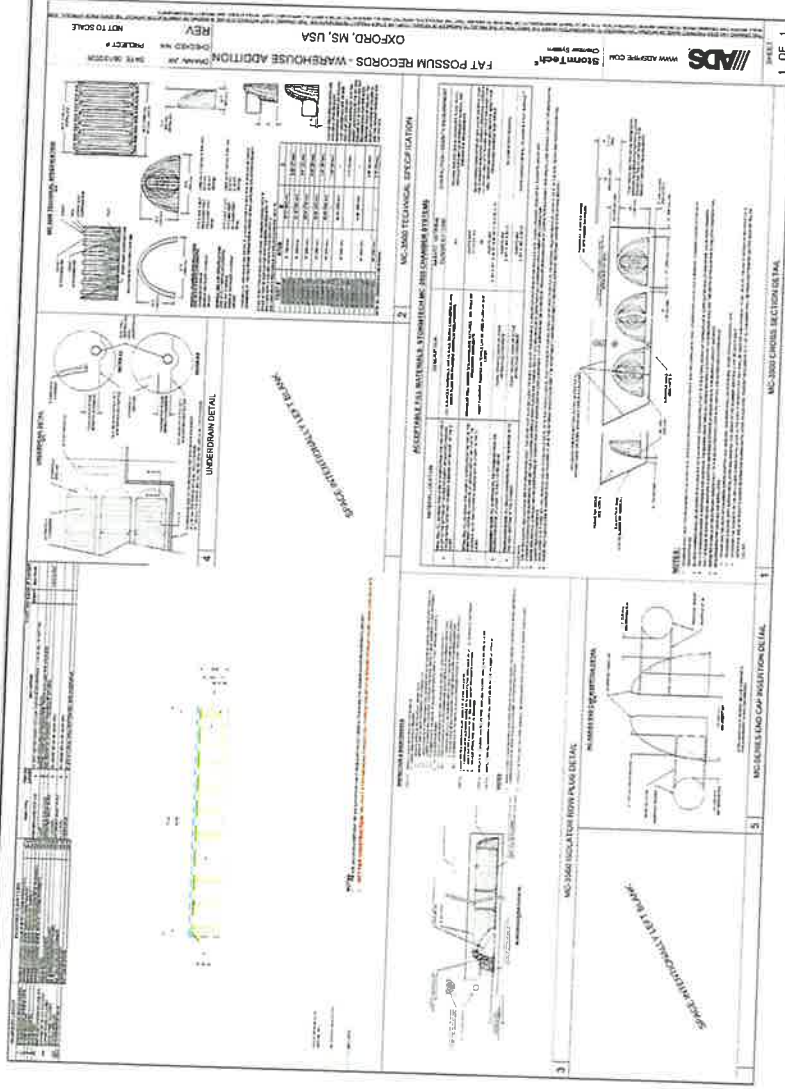
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2. 研究の背景	研究の背景を簡明に述べる。	研究の背景を簡明に述べる。	研究の背景を簡明に述べる。
3. 研究の方法	研究の方法を簡明に述べる。	研究の方法を簡明に述べる。	研究の方法を簡明に述べる。
4. 研究の結果	研究の結果を簡明に述べる。	研究の結果を簡明に述べる。	研究の結果を簡明に述べる。
5. 研究の結論	研究の結論を簡明に述べる。	研究の結論を簡明に述べる。	研究の結論を簡明に述べる。

ALL ENGINEERING
TECHNICIANS ARE IN
DEMAND AND
EARNING MORE
THAN \$40,000 PER
YEAR. GET THE
ADVANTAGE OF
THE FUTURE
NOW. AT C112.

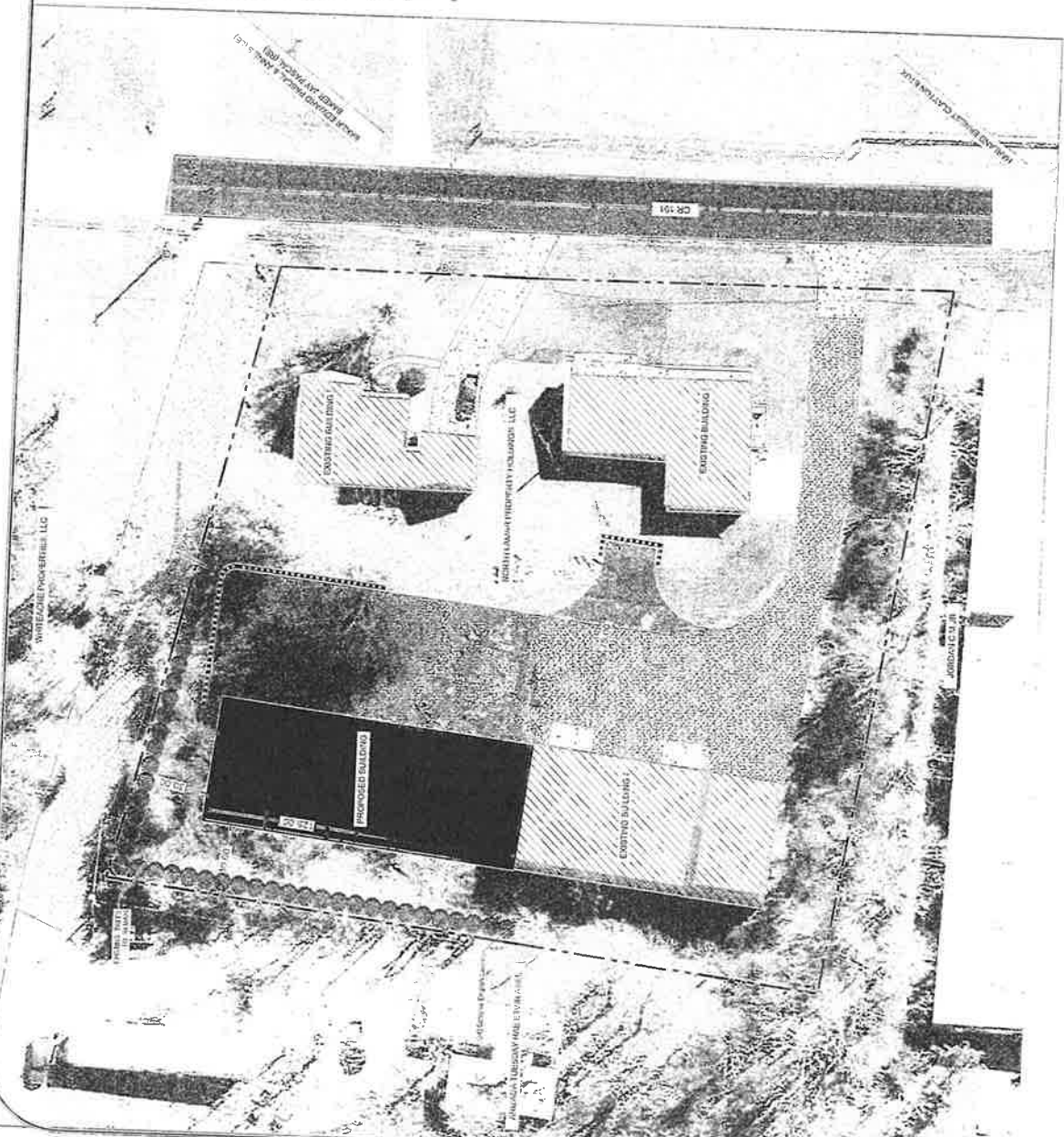


- [illegible]

DETAILS



WEIR PLATE DETAIL - SW SYSTEM
N.T.S.

LANDSCAPE MASTER PLAN
SCALE: 1" = 25'[illegible]



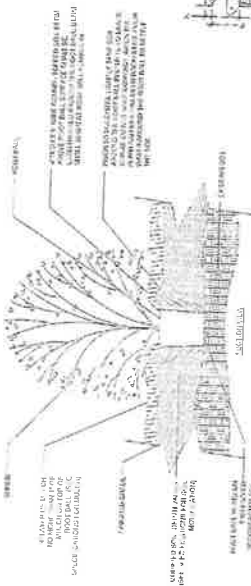
DATE: 01/11/2017
DRAWN BY: J. L. BROWN
CHECKED BY: J. L. BROWN
SCALE: AS SHOWN

REVISIONS:	
NO.	DESCRIPTION
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2	ISSUED FOR CONSTRUCTION
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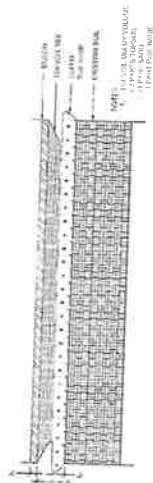
LANDSCAPE - DETAILS
FOR
FAT POSSUM RECORDS
WAREHOUSE ADDITION
OXFORD, LAFAYETTE COUNTY, MISSISSIPPI

PROJECT NO.	17-001	DATE	01/11/2017
DRAWN BY	J. L. BROWN	CHECKED BY	J. L. BROWN
SCALE	AS SHOWN	PROJECT	FAT POSSUM RECORDS
SHEET NO. 1 OF 1			

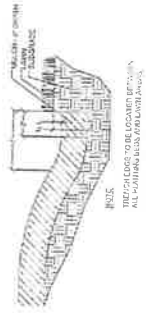
L102



1 SHRUB PLANTING DETAIL
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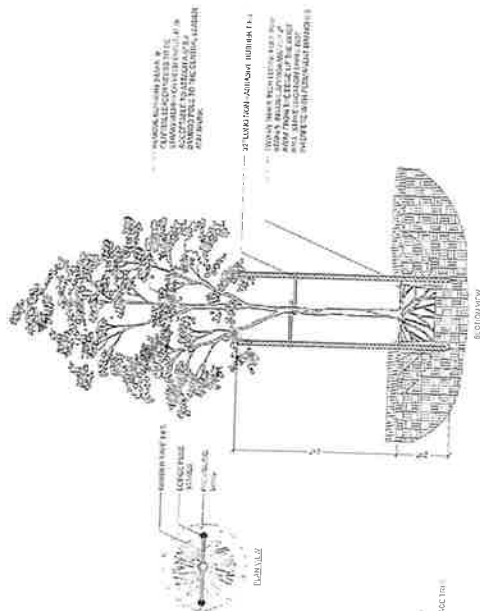
2 PLANTING BED DETAIL
SCALE: NTS



3 PLANTING EDGE DETAIL
SCALE: NTS



4 TREE PLANTING DETAIL
SCALE: NTS



5 TREE STAKING DETAIL
SCALE: NTS

15. Consider the Planning Commission recommendation to approve the Eagle Tee, LLC - Yockna Station Golf Club, Final Site Plan, Lafayette County Parcel 178-27-015.0, portion of proposed Golf Course proposed in the Taylor Corporate Limits. (Tristan Riddell)



Lafayette County Development Services
Planning, Zoning & Building Inspection

To: Lafayette County Board of Supervisors
From: Tristan Riddell, Planner
Meeting Date: September 8, 2026
Case: 26-310

Applicant: Eagle Tee, LLC
Request: Final Site Plan

Location: Just west of the western Taylor corporate limits. A majority of the project sits within the Taylor corporate limits and fronts Main Street.
Parcel Number(s): 178-27-015.01
PPIN: 31543

Existing Zoning District: Rural (A-1)
Adjacent Zoning Districts: Rural (A-1) and Taylor Corporate Limits

Background

Eagle Tee, LLC (previously Farrell, LLC) was granted a Conditional Use Permit to construct a quasi-public facility (golf course) in a Rural (A-1) District at the March 16, 2026, Lafayette County Board of Supervisor meeting. The applicant now seeks Final Site Plan approval in accordance with Article II of the Lafayette County Land Development Standards and Regulations (LCLDSR).

Public Notice

Notice of this action was posted on the property in accordance with the LCLDSR.

Final Site Plan Approval

The Final Site Plan conforms with the requirements of the Lafayette County Land Development Standards and Regulations (Article II, Section 2, LCLDSR).

Planning Staff Recommendation

Planning Staff recommends approval of the final site plan.

Planning Commission Recommendation

The Planning Commission voted unanimously (4-0) to approve the final site plan.

Enc.:

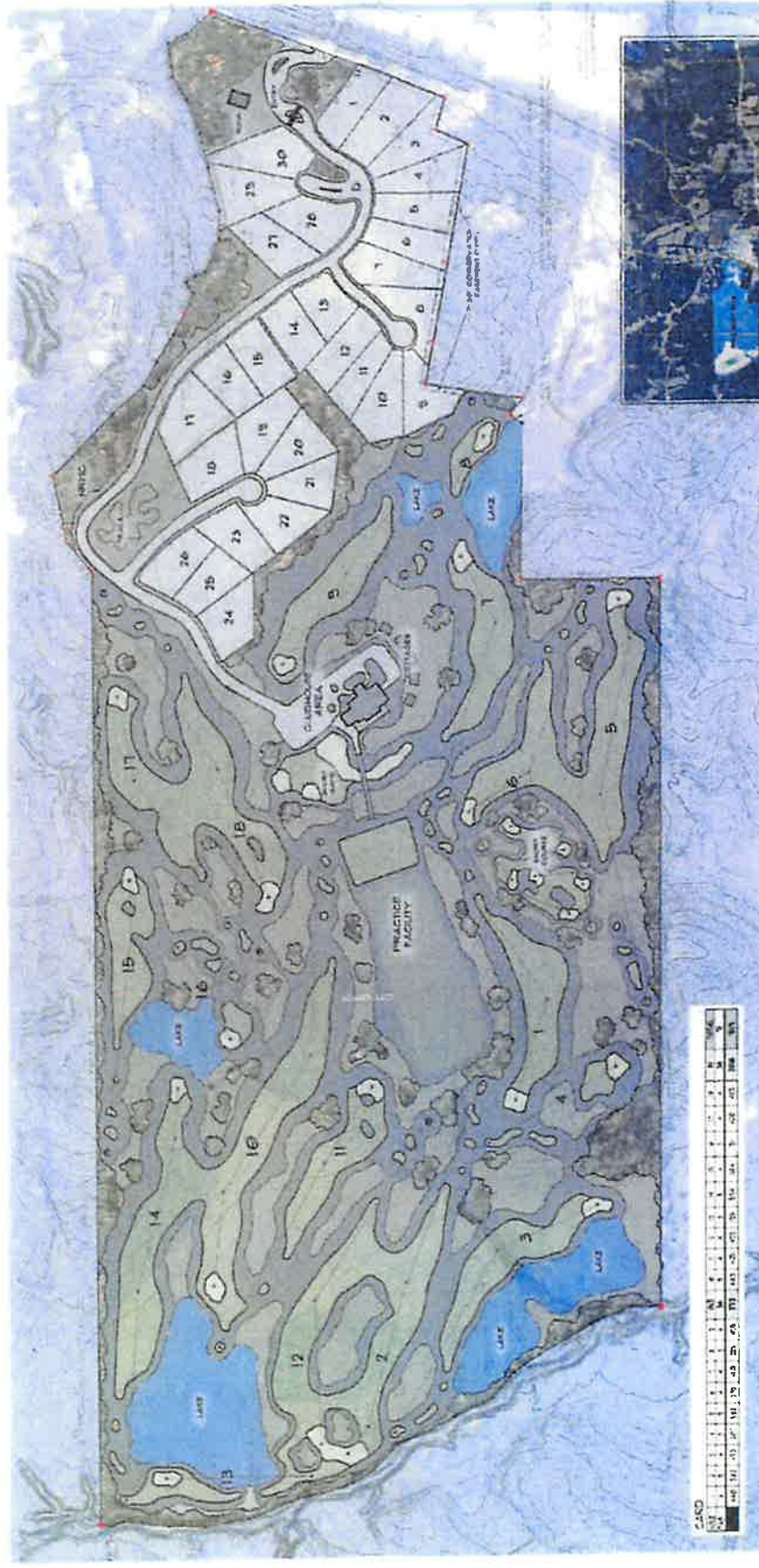
1. Application Materials

Card of the Course

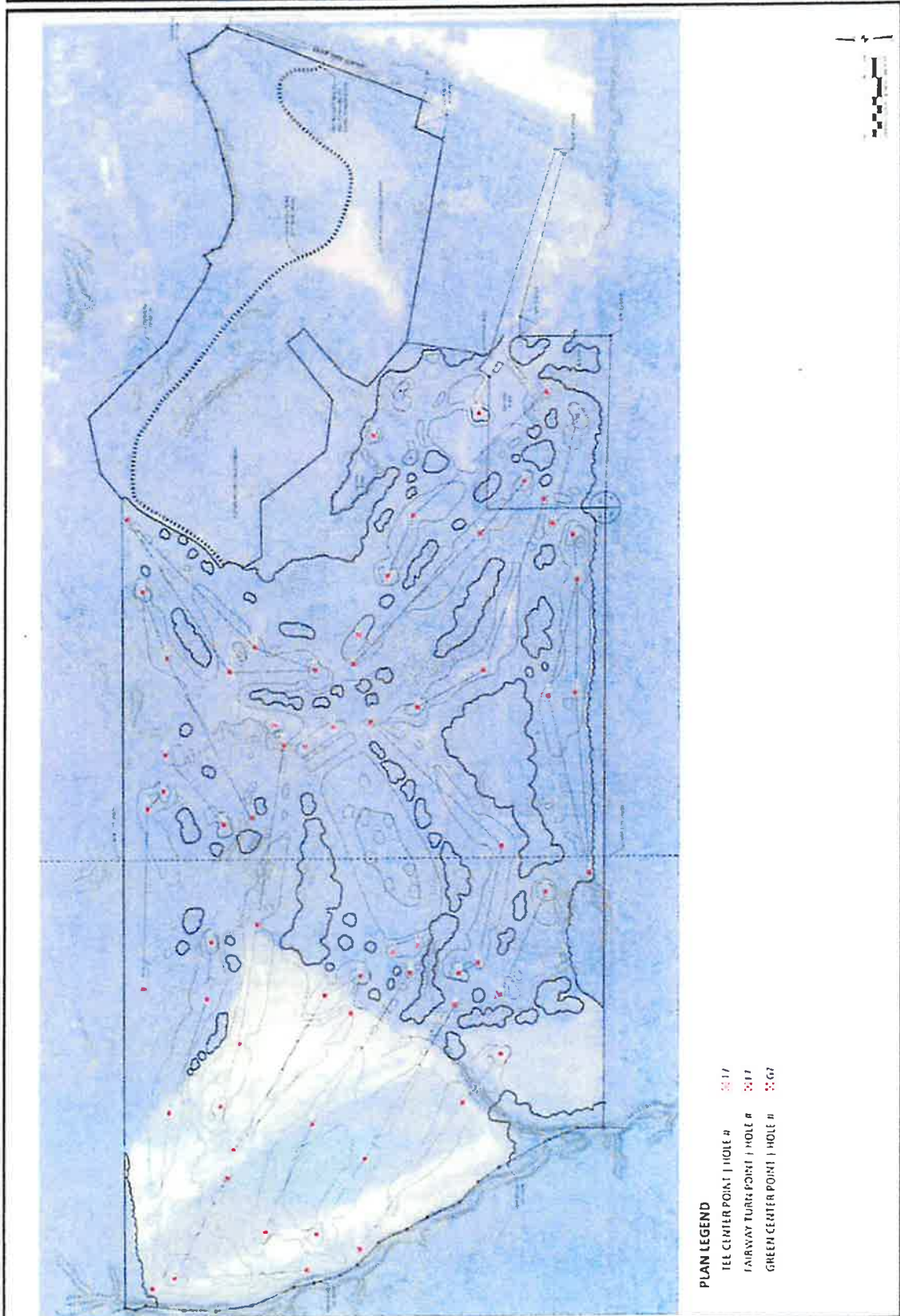
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54	-590	-585	-591	-570	588	-591	-590	-593	-31	889	-588	-263	-311	-318	-325	-737	-734	-590	-585	1040	2475
55	-609	-604	-610	-589	607	-610	-609	-612	-32	864	-607	-272	-320	-327	-334	-758	-755	-609	-604	1015	2475
56	-628	-623	-629	-608	626	-629	-628	-631	-33	839	-626	-281	-329	-336	-343	-779	-776	-628	-623	990	2475
57	-647	-642	-648	-627	645	-648	-647	-650	-34	814	-645	-290	-338	-345	-352	-800	-797	-647	-642	965	2475
58	-666	-661	-667	-646	664	-667	-666	-669	-35	789	-664	-299	-347	-354	-361	-821	-818	-666	-661	940	2475
59	-685	-680	-686	-665	683	-686	-685	-688	-36	764	-683	-308	-356	-363	-370	-842	-839	-685	-680	915	2475
60	-704	-699	-705	-684	702	-705	-704	-707	-37	739	-702	-317	-365	-372	-379	-863	-860	-704	-699	890	2475
61	-723	-718	-724	-703	721	-724	-723	-726	-38	714	-721	-326	-374	-381	-388	-884	-881	-723	-718	865	2475
62	-742	-737	-743	-722	740	-743	-742	-745	-39	689	-740	-335	-383	-390	-397	-905	-902	-742	-737	840	2475
63	-761	-756	-762	-741	759	-762	-761	-764	-40	664	-759	-344	-392	-400	-407	-926	-923	-761	-756	815	2475
64	-780	-775	-781	-760	778	-781	-780	-783	-41	639	-778	-353	-401	-408	-415	-947	-944	-780	-775	790	2475
65	-799	-794	-800	-779	797	-800	-799	-802	-42	614	-797	-362	-410	-417	-424	-968	-965	-799	-794	765	2475
66	-818	-813	-819	-798	816	-819	-818	-821	-43	589	-816	-371	-419	-426	-433	-989	-986	-818	-813	740	2475

PRELIMINARY PROJECT SITE PLAN

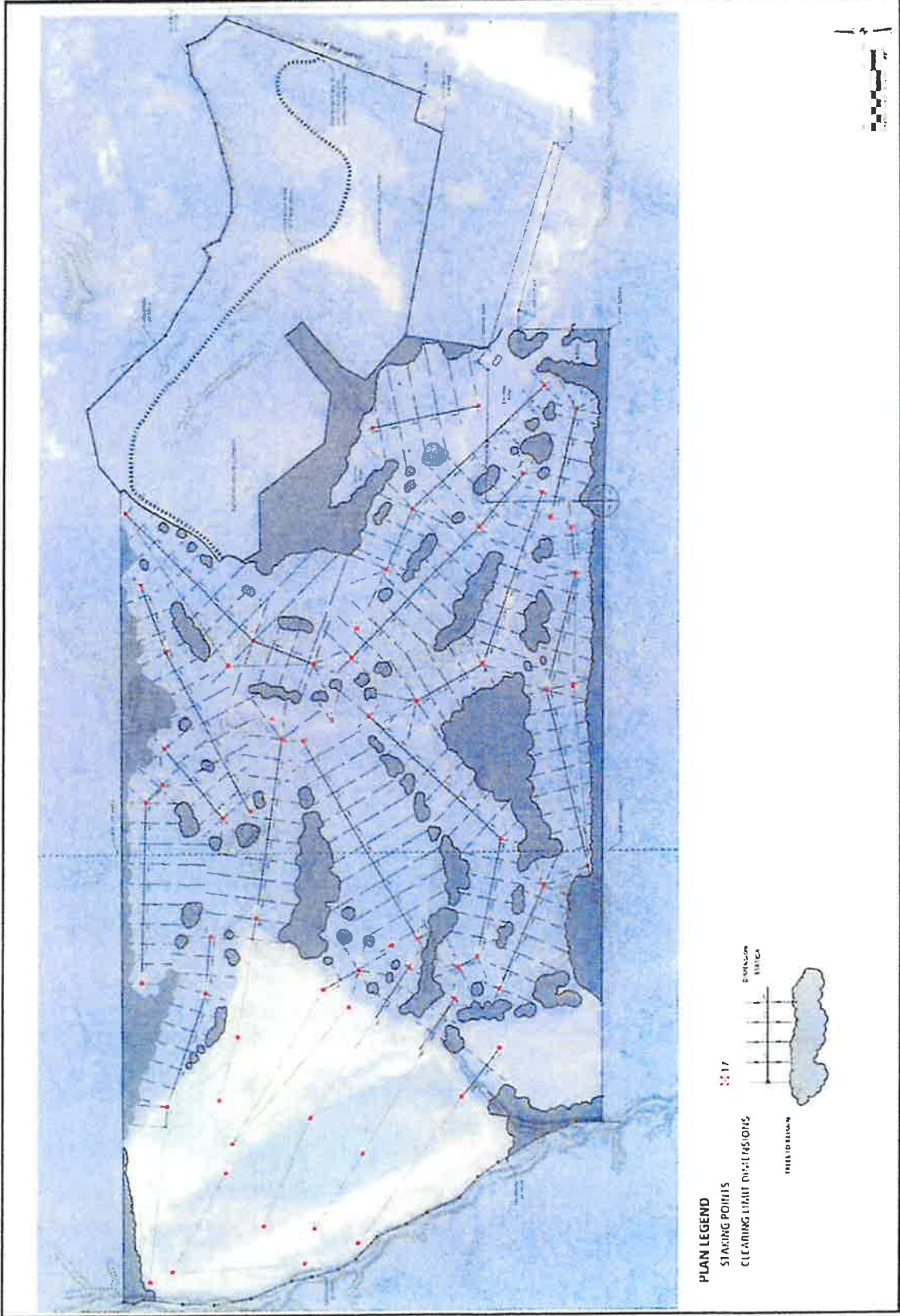
PROJECT NAME: TBD TAYLOR, MISSISSIPPI | 3 DEC 12-DEP 2025



WATERMARK GOLF NATIONAL CLUB OF AMERICA
1411 CHURCH ROAD, SUITE 100, JACKSON, MS 39201
PHONE: 601.893.1960
www.watermarkgolf.com



- PLAN LEGEND**
- TEE CENTER POINT | HOLE #
 - FAIRWAY TURN-POINT | HOLE #
 - GREEN CENTER POINT | HOLE #

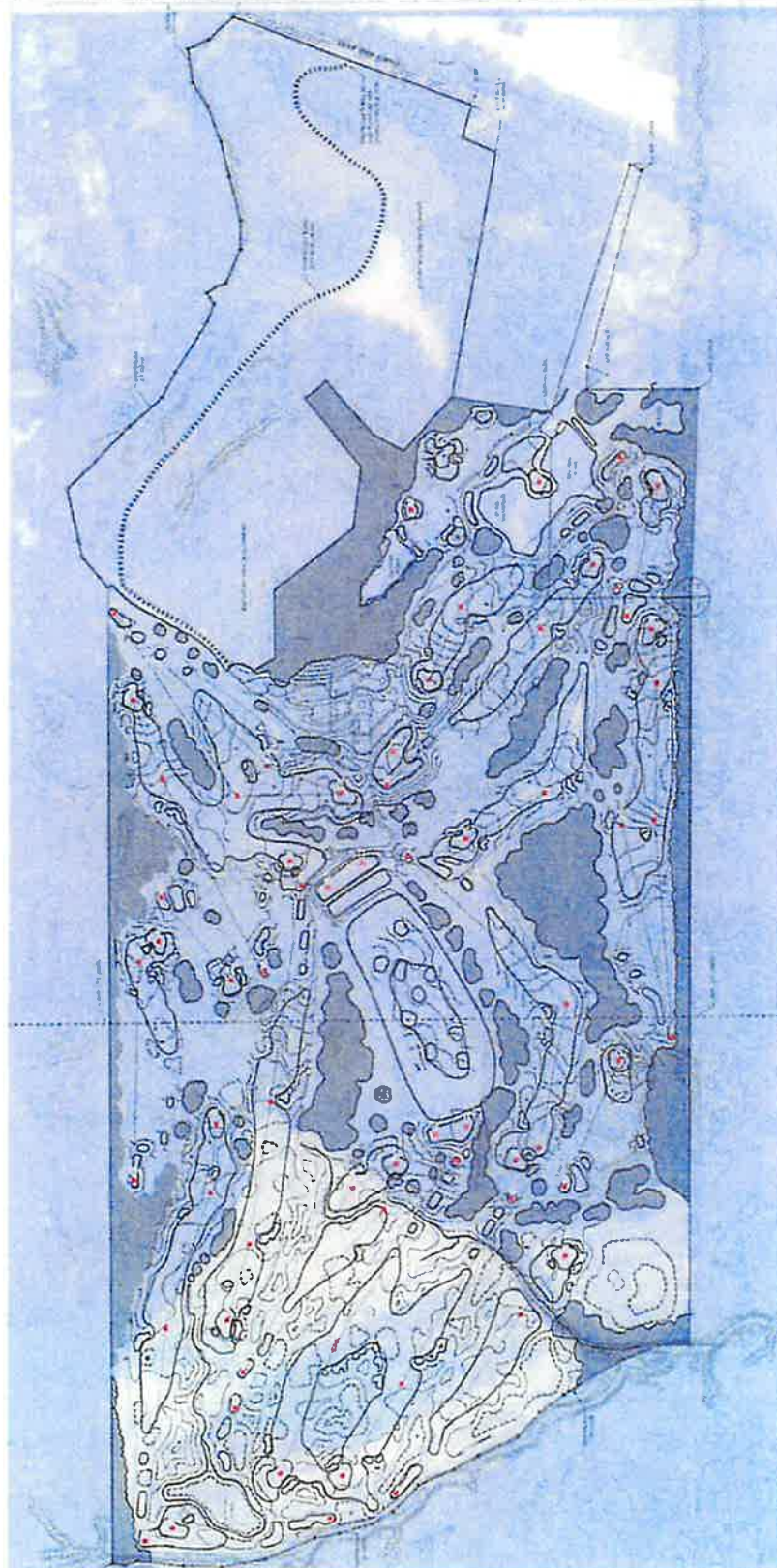


PLAN LEGEND

STAKING POINTS

CLEARING LIMIT DOTTED LINES

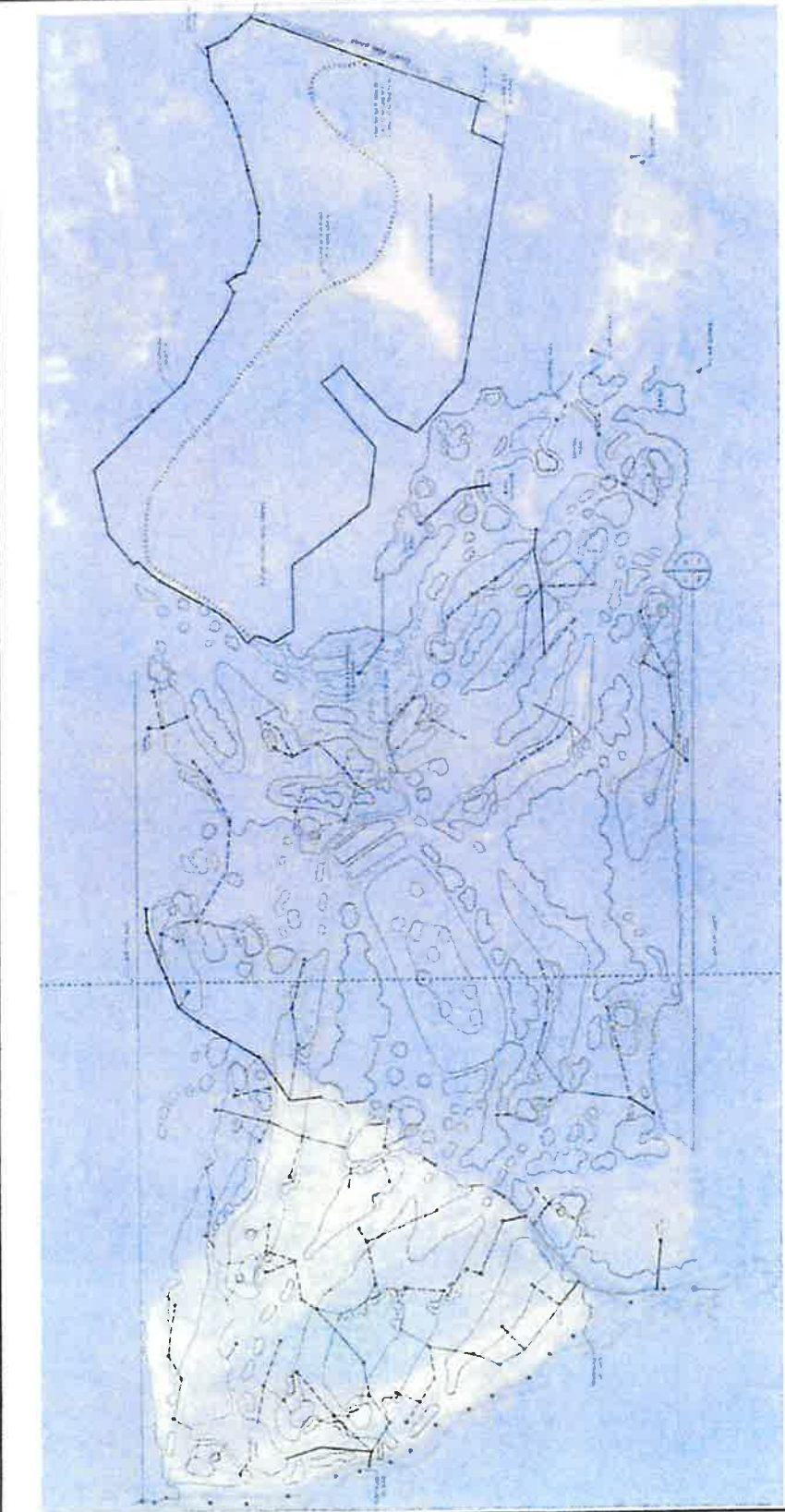
TREES TO BE REMOVED



PRELIMINARY EARTHWORK CALCS
MASS CUT: 249,000 CY
MASS FILL: 278,000 CY *

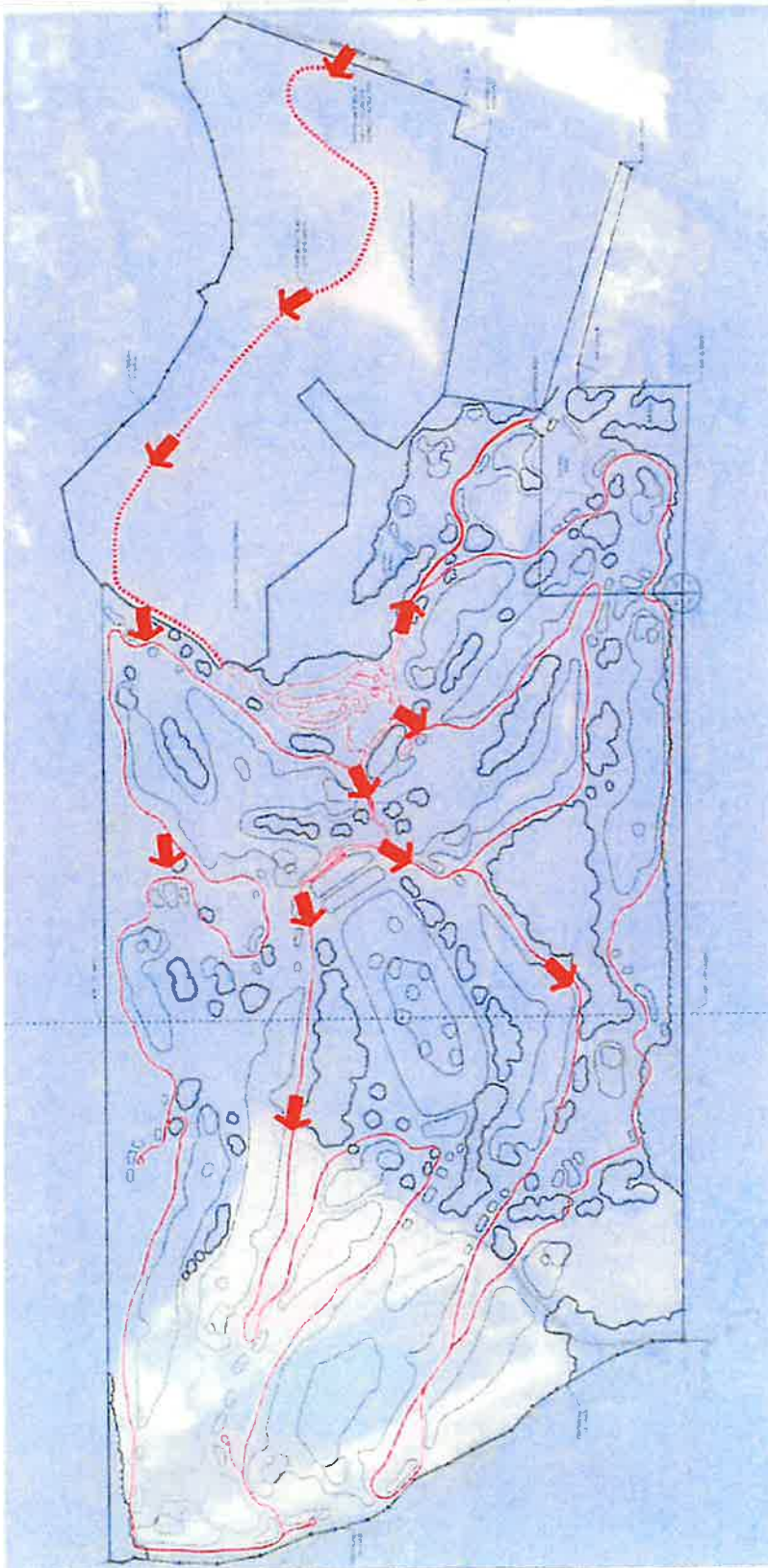
PLAN LEGEND
 STAKING POINTS
 EXISTING SFT CONTOURS
 PROPOSED SFT CONTOURS





PLAN LEGEND

- EXISTING 5FT CONTOURS
- PROPOSED 5FT CONTOURS
- FEATURE DRAINAGE 4"
- MINOR DRAINAGE 6"
- MAJOR DRAINAGE 8"
- MAJOR DRAINAGE 12"
- DRAINAGE BASIN
- CONTROL STRUCTURE



- PLAN LEGEND**
- CARTPATHS
 - SERVICE DRIVES
 - ROAD ACCESS
 - EMTS ACCESS

16. Public Hearing on the Alex Crossroads Properties, LLC request to rezone property from Residential Low Density (R-1) to Commercial Medium Density (C-2) on Lafayette County Parcels 185Y-21-048.00 and 185Y-21-051.00, 490 Block MS Hwy 7 S north of Cross Creek Drive. (Tristan Riddell)
17. Consider the Planning Commission recommendation to approve the Alex Crossroads Properties, LLC request to rezone property from Residential Low Density (R-1) to Commercial Medium Density (C-2) on Lafayette County Parcels 185Y-21-048.00 and 185Y-21-051.00, 490 Block MS Hwy 7 S north of Cross Creek Drive. (Tristan Riddell)
18. Recess.



Lafayette County Development Services
Planning, Zoning & Building Inspection

To: Lafayette County Board of Supervisors
From: Tristan Riddell, Planner
Meeting Date: September 8, 2026
Case: 26-406

Applicant: Alex Crossroads Properties, LLC
Request: Rezone from Residential Low Density (R-1) to Commercial Medium Density (C-2)

Location: MS Hwy 7 South
Parcel Number(s): 185Y-21-048.00 and 185Y-21-051.00
PPIN: 11107 and 11143

Existing Zoning District: Residential Low Density (R-1)

Adjacent Zoning District:

- West – Rural (A-1)
- East – Residential Medium Density (R-2)
- North – Commercial Medium Density (C-2) and Residential Low Density (R-1)
- South – Commercial Medium Density (C-2)

Background

Alex Crossroads, LLC requests the rezoning of approximately 14 acres of property currently zoned Residential Low Density (R-1) to Commercial Medium Density (C-2). The subject property is located on the east side of MS Hwy 7 S just north of its intersection with Cross Creek Drive.

The Board of Supervisors voted to deny the rezone request at its June 16, 2026 meeting. The request was denied because the proponent failed to appear during the public hearing. Appearance at the public hearing is a requirement of the Lafayette County Zoning Ordinance. The Board of Supervisors rescinded the previous motion to deny during its August 3, 2026 meeting and tabled the consideration and decision on the rezone request subject to proper public hearing notification requirements being met.

Criteria for Rezoning

In accordance with Article XXI, Section 2106.03, Lafayette County Zoning Ordinance (LCZO), a rezone of property shall only be approved if:

- A. There was a mistake in the original zoning; or
- B. The character of the neighborhood has changed to such an extent as to justify reclassification, and that there is a public need for the rezoning.

Furthermore, as outlined in Article XXI, Section 2106.04, LCZO, all rezoning requests shall be consistent with all four elements of the Lafayette County Comprehensive Plan.

The applicant states that the rezoning request is based on the significant change in the character and use of the surrounding area, citing the ongoing widening of Hwy 7 South from two to four lanes, previous rezoning of the property immediately adjoining to the north to C-2 and the recent development of the Rebel Mart Convenience Store/Gas Station to the south of the subject property.

Planning Staff concurs with the position of the applicant that there has been a significant change in the surrounding neighborhood sufficient to justify the rezone request. Previous rezone actions and recent commercial development on neighboring properties support this position.

Rezoning must also be consistent with the Lafayette County Comprehensive Plan (LCCP). The Future Land Use Plan projects anticipated growth and appropriate zone designation changes to support such growth throughout the County. The Future Land Use Plan shows that the location of the subject property is should be viewed as a potential commercial hub in that it calls for the designation of additional commercial classification, specifically Commercial Low Density (C-1), directly across Hwy 7 from the subject property and near the Hwy 7 and Hwy 328 intersection just to the south. Planning Staff finds the rezone request consistent with the Future Land Use Plan.

In addition to the Future Land Use Plan, any rezone request must be consistent with the goals and objectives set forth in Chapter III, LCCP. Planning Staff finds the proposed rezone generally consistent with the following goals and objectives when viewed in context with the Future Land Use Plan:

Visual Perception and Image:

Goal 1: Enhance and promote a community image unique to and supportive of Lafayette County's assets as well as the City of Oxford's and the University of Mississippi's assets.

Objective: Preserve the best of Lafayette County's rural resources (scenic views, rivers, streams, wetlands, tree canopy, and farmland) to the greatest extent possible in preparing for anticipated future growth and development.

Goal 2: Create and promote a community image unique to and supportive of Lafayette County's assets through adoption of proper ordinances and regulations.

Objective: Adopt a Zoning Ordinance for Lafayette County to help manage growth in urbanizing areas and rural areas alike.

Land Use Development:

Goal 3: Protect property values for future growth and assessed values for tax revenue.

Objective: Identify and determine a distribution of land uses that guide and control future residential, commercial and industrial growth.

Objective: Identify prime commercial areas based on transportation networks and access, public utility availability, and concentration of supporting land uses.

Public Notice/Public Comments

Conditional use requests shall be heard at a properly notified public hearing (Article XXI, Section 2105.03, LCZO). Notice of this public hearing was posted on the subject property and printed in the Northeast Mississippi Daily Journal. To date, Planning Staff has not received any written public comment.

Planning Staff Recommendation

Due to the change in character of the neighborhood and the consistency with the Lafayette County Comprehensive Plan, specifically the above referenced Goals and Objectives and the Future Land Use Plan, Planning Staff recommends approval of the rezone request.

Planning Commission Recommendation

The Planning Commission voted unanimously (4-0) to approve the rezone request.

Enc.:

1. Application Materials

REQUEST FOR REZONING APPLICATION

Name of Applicant: Alex Crossroads Properties, LLC
Property Address: 289 CR 4066 Oxford, MS
Phone Number: 212-729-7196 Email Address: Oxfordspot@att.net
Current Zoning District: R1

Please select the type of amendment requested

(1) Amendment to the text (2) Amendment to the Official Zoning Map

(Please circle YES or NO)

DOES THE PROPERTY HAVE RESTRICTIVE COVENANTS? YES ☒ NO

(If YES, please attach a copy of restrictive covenants)

HAS THERE BEEN A PREVIOUS REQUEST FOR ANY ZONING ACTIONS AT THIS PROPERTY BEFORE?
YES ☒ NO (If YES, please attach a copy of all decisions made by the Planning Commission and Board of Supervisors)

Requirements of Applicant:

1. Letter stating reason for requested zoning action
2. Copy of the written legal description
3. Site plan of property (must be in accordance the Lafayette County Subdivision Regulations)

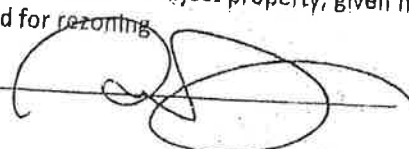
Criteria for Rezoning: (Section 2406.03- Zoning Ordinance)

- A. That there was a mistake in the original zoning. "Mistake" in this context shall refer to a clerical or administrative error, such as a mistake of draftsmanship on the Official Zoning Map or incorrectly reflecting the Board of Supervisors' decision in the minutes. "Mistake" does not mean that the Board of Supervisors made a mistake in judgment in their prior zoning, such as not realizing the full import of the zoning classification or mistakenly placing the property in one classification when the evidence indicated that another would have been more appropriate.
- B. That the character of the neighborhood has changed to such an extent as to justify reclassification, and that there is a public need for the rezoning.

Applicant shall be present at the Planning Commission meeting. Documents shall be submitted thirty (30) days prior to the Planning Commission meeting. Applicant is responsible for complying with all applicable requirements of the Zoning Ordinance.

By signing this application, it is understood that permission is given to the Zoning Administrator to have a sign erected on subject property, given notice to the public that said property is being considered for rezoning.

Signature



Date

3/22/26

Dear Building Department, Board of Supervisors, and Members of the Planning Commission,

On behalf of Alex Crossroads Properties, LLC, I am writing to formally request the rezoning of a parcel of property currently designated as R-1 (Residential) to C-2 (Commercial).

This request is based on the significant change in the character and use of the surrounding area. Highway 7 is currently undergoing widening and increased traffic improvements, which are actively transforming the immediate corridor into a more commercially oriented environment. Additionally, the development of the Rebel Mart gas station directly adjacent to the property has further contributed to this shift toward commercial activity. There is also two more C2 zones area to the south of this as well as MDOT to the north.

Given these changes, the current R-1 zoning designation no longer aligns with the evolving nature of the area. Rezoning the property to C-2 would be consistent with nearby uses and would better support the continued growth and projected development along Highway 7.

We respectfully ask the Planning Commission to consider this request and approve the rezoning.

Thank you for your time and consideration.

Sincerely,
Alex Crossroads Properties, LLC

DATE OF FIELD SURVEY: AUGUST 11, 2025

- ⊙ = FOUND MONUMENTS
● = SET 1/2" REBAR



James J. Treloar

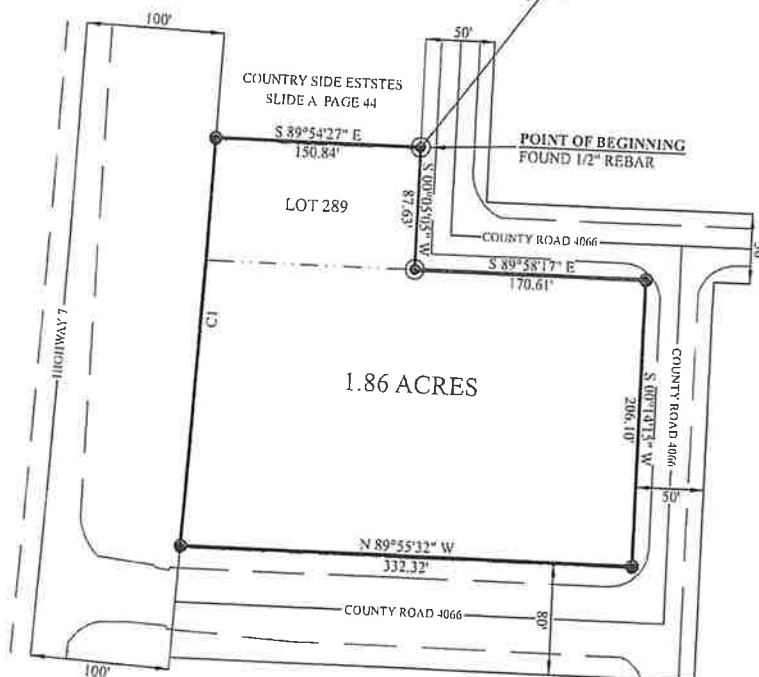
REFERENCE MATERIAL
COUNTRY SIDE ESTATES
S/D PLAT: SLIDE A-44
BOOK PAGE
487 336
2016 8061
2020 9932

GRID NORTH



BEARINGS ARE DERIVED
FROM GPS OBSERVATIONS

POINT OF COMMENCEMENT
FOUND 1/2" REBAR AT THE
NORTHEAST CORNER OF THE
SOUTHWEST QUARTER OF SECTION 21,
TOWNSHIP 9 SOUTH, RANGE 3 WEST,
LAFAYETTE COUNTY, MISSISSIPPI



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
CI	17291.18'	293.87'	293.37'	N 02°18'44" E

DESCRIPTION OF SURVEY

LOT 289, COUNTRY SIDE ESTATES, AS SHOWN ON PLAT SLIDE A-44, AND A FRACTIONAL PART OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 9 SOUTH, RANGE 3 WEST, LAFAYETTE COUNTY, MISSISSIPPI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1/2" REBAR FOUND AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 9 SOUTH, RANGE 3 WEST, LAFAYETTE COUNTY, MISSISSIPPI; THENCE RUN S 36°25'02" W A DISTANCE OF 868.86' TO A 1/2" REBAR FOUND ON THE WESTERN LINE OF COUNTY ROAD 4066 (25' FROM CENTERLINE) AND BEING THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED; THENCE S 00°05'05" W ALONG SAID WESTERN LINE OF COUNTY ROAD 4066 A DISTANCE OF 87.63' TO A FOUND 1" PIPE; THENCE S 89°58'17" E A DISTANCE OF 170.61' TO A SET 1/2" REBAR; THENCE S 00°14'15" W A DISTANCE OF 206.10' TO A SET 1/2" REBAR (40' FROM CENTERLINE); THENCE N 89°55'32" W A DISTANCE OF 332.32' TO A 1/2" REBAR SET ON THE EASTERN LINE OF HIGHWAY 7 (100' FROM CENTERLINE); THENCE ALONG SAID EASTERN LINE OF HIGHWAY 7 WITH A CURVE TURNING TO THE LEFT WITH THE FOLLOWING ELEMENTS: AN ARC LENGTH OF 293.87', A RADIUS OF 17291.18', A CHORD BEARING OF N 02°18'44" E, AND A CHORD LENGTH OF 293.87' TO A SET 1/2" REBAR; THENCE S 89°54'27" E A DISTANCE OF 150.84' TO THE POINT OF BEGINNING AND HAVING AN AREA OF 1.86 ACRES.

CERTIFICATE: I DO HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS FOR A CLASS "C" SURVEY SET FORTH BY THE BOARD OF PROFESSIONAL SURVEYORS FOR SURVEYING IN THE STATE OF MISSISSIPPI.

JAMES J. TRELOAR, PS 3253
68 COUNTY ROAD 354
OXFORD, MS 38655
PHONE 662-816-8275

1.86 ACRE TRACT

HWY 7 / CR 4066
LAFAYETTE COUNTY, MS

FIGURE
1 OF 1

DRAWN DT DATE 08/11/2025 APPROVED JT SCALE 1" = 100' PROJECT NO FORTNER

5/6/2026

Re: **Alex Crossroads Properties, LLC**
1438 N Lamar Blvd Oxford, MS 38655
Rezoning of Parcels # 185Y-21-051.00, 185Y-21-048.00
Lafayette County, Mississippi

To Whom It May Concern:

On behalf of the Alex Crossroads Properties, LLC and in accordance with the Lafayette County Subdivision Regulations you are being notified as an adjacent property owner of their intent to request approval to rezone their property from R-1 Residential to C-2 Commercial on their property located on the north side of the intersection of Hwy 7 South and Cross Creek Drive, in Section 21, Township 9 South and Range 3 West of Lafayette County.

The rezoning will be presented for approval at the May meeting of the Lafayette County Planning Commission. This meeting will be held in Board of Supervisor's room on the second floor of the Lafayette County Chancery Building on Tuesday, May 26, 2026, at 5:30 pm.

If you have any questions or comments, please contact Alex Ali at 662-239-7399. Additionally public comments, or concerns can be submitted to the planning department in writing or via email at planning@lafayettecoms.com.

Sincerely,

Alex Crossroads properties, LLC

Alex Crossroads Property - Hwy 7S

